



# CITY OF LA PINE, OREGON URBAN RENEWAL AGENCY

Tuesday, March 01, 2022, at 3:00 PM

Virtual Meeting on Zoom: <https://us02web.zoom.us/j/87401283935>

La Pine City Hall: 16345 Sixth Street, La Pine, Oregon 97739

*The meeting location is accessible to persons with disabilities. A request for an interpreter for the hearing impaired or for other accommodations for persons with disabilities should be made at least 48 hours before the meeting to City Hall at (541-536-1432). For deaf, hearing impaired, or speech disabled dial 541-536-1432 for TTY.*

## AGENDA

### CALL TO ORDER

### ESTABLISH QUORUM

### PLEDGE OF ALLEGIANCE

### ADDED AGENDA ITEMS

*Any matters added to the Agenda at this time will be discussed during the “Other Matters” portion of this Agenda or such time selected by the Urban Renewal Agency.*

### APPROVAL OF MEETING MINUTES

- 1. 01.04.2022 URA Meeting Minutes (February Meeting: Cancelled).....3.
- 2. January Financials.....5.

### OLD BUSINESS

- 1. Store Front Improvement Plan (Update)
- 2. Banner Project (Update)
- 3. Gateway Arch (Discussion)

### NEW BUSINESS

- 1. Budget Calendar (proposed).....8.
- 2. City Council request for funds (La Pine Station Project)
  - a. Staff Report.....9.
  - b. Redlined project list.....13.
  - c. Financial Work Sheet.....17.
  - d. La Pine Station engineered site plan.....18.

### OTHER MATTERS

*Only Items that were previously added above in the Added Agenda Items will be discussed.*

### PUBLIC COMMENTS

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**STAFF COMMENTS**

**BOARD MEMBER COMMENTS**

**ADJOURN MEETING**

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**Pursuant to ORS 192.640:** This notice includes a list of the principal subjects anticipated to be considered or discussed at the above-referenced meeting. This notice does not limit the ability of the Urban Renewal Agency - Cancelled to consider or discuss additional subjects. This meeting is subject to cancellation without notice. The regular meeting is open to the public and interested citizens are invited to attend.

# CITY OF LA PINE, OREGON

## URBAN RENEWAL AGENCY

Tuesday, January 4, 2022, 3:00pm  
La Pine City Hall: 16345 Sixth Street, La Pine, Oregon 97739

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### MINUTES

#### 1. CALL TO ORDER

Meeting was called to order at 3:01pm

#### 2. ESTABLISH A QUORUM

##### PRESENT

Vicki Russell, Ann Gawith, Colleen Scott, Scott Asla, Andrea Hine

ABSENT: None

##### STAFF

City Manager Geoffrey Wullschlager

City Planner Alexa Repko

City Recorder Jamie Kraft

SLED Director Patricia Lucas

#### 3. PLEDGE OF ALLEGIANCE

#### 4. ADDED AGENDA ITEMS

*Any matters added to the agenda at this time will be discussed during the "Other Matters" portion of this Agenda or such time selected by the Urban Renewal Agency.*

1. Morning Star Project – Scott Asla

#### 5. APPROVAL OF MEETING MINUTES

1. Urban Renewal Minutes 12.07.2021

Motion made by Scott Asla to approve the 12.07.2021 meeting minutes, Seconded by Ann Gawith.

Voting Yea: Scott Asla, Colleen Scott, Ann Gawith. Andrea Hine.

Voting Nay: None

#### 6. NEW BUSINESS

#### 7. OLD BUSINESS

##### a. City Banners –

Vicki Russell presented pricing for two different banner manufacturers. Colleen Scott spoke to La Pine Signs which was unable to lower the price to compete with Dijulio Displays. There was discussion regarding designs and color scheme for the City of La Pine logo. Geoff Wullschlager presented the difference between the banner flex and banner saver options. Geoff offered to investigate the light poles on Hwy 97 to decide what kind of brackets are needed. There was consensus to make an initial purchase of 20 banners. There was discussion regarding the three banner color options. Colleen Scott agreed to

request a cream-colored banner and the revised green banner. The request is also to make the established date in bold and the same size of the name Oregon. Colleen will provide updated pricing and options.

**b. Gateway Arch -**

Andrea Hine shared information on the origination of the Redmond Oregon archway. If the City of La Pine chose to emulate the example, the designer and fabricator is willing to work with the URA to create and build an archway. The logical location would be at the South entrance to Huntington Rd. The approximate cost would be 60k. There was consensus to meet with the designer to get more information regarding the project. Andrea Hine will investigate banner arches from other cities in Oregon and report back to the URA in February. Scott Asla requested signage that would match any banner archway design.

**8. OTHER MATTERS**

*Only Items that were previously added above in the Added Agenda Items will be discussed.*

**a. Morning Star Project – Scott Asla**

Daycare co-op non-profit service that would like to build a facility in La Pine. He is requesting that the URA consider and potential funding opportunities. Unfortunately, URA has no funding opportunities that would benefit a project of this nature.

**9. PUBLIC COMMENTS**

None.

**10. ADJOURNMENT**

Meeting adjourned at 4:00pm.

CITY OF LA PINE  
 BALANCE SHEET  
 JANUARY 31, 2022

URBAN RENEWAL AGENCY

ASSETS

80-10100	CASH - COMBINED FUND	575,180.33	
80-11340	PROPERTY TAXES RECEIVABLE	2,729.61	
	TOTAL ASSETS		577,909.94

LIABILITIES AND EQUITY

LIABILITIES

80-26100	DEFERRED PROPERTY TAXES	1,963.52	
	TOTAL LIABILITIES		1,963.52

FUND EQUITY

	UNAPPROPRIATED FUND BALANCE:		
80-29100	FB - UNRESTRICTED	434,265.61	
	REVENUE OVER EXPENDITURES - YTD	141,680.81	
	BALANCE - CURRENT DATE	575,946.42	
	TOTAL FUND EQUITY		575,946.42
	TOTAL LIABILITIES AND EQUITY		577,909.94

CITY OF LA PINE  
REVENUES WITH COMPARISON TO BUDGET  
FOR THE 7 MONTHS ENDING JANUARY 31, 2022

URBAN RENEWAL AGENCY

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>BEGINNING FUND BALANCE</u>					
80-301-100 BEGINNING FUND BALANCE	.00	.00	430,144.00	430,144.00	.0
TOTAL BEGINNING FUND BALANCE	.00	.00	430,144.00	430,144.00	.0
<u>TAXES</u>					
80-310-110 PROPERTY TAXES - CURRENT	1,630.32	141,063.73	131,932.00	( 9,131.73)	106.9
80-310-120 PROPERTY TAXES - PRIOR	58.22	636.85	.00	( 636.85)	.0
TOTAL TAXES	1,688.54	141,700.58	131,932.00	( 9,768.58)	107.4
<u>SOURCE 380</u>					
80-380-810 INTEREST REVENUE	.00	.23	75.00	74.77	.3
TOTAL SOURCE 380	.00	.23	75.00	74.77	.3
TOTAL FUND REVENUE	1,688.54	141,700.81	562,151.00	420,450.19	25.2

CITY OF LA PINE  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 7 MONTHS ENDING JANUARY 31, 2022

URBAN RENEWAL AGENCY

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT	
<u>MATERIALS &amp; SERVICES</u>						
80-520-2050	ACCOUNTING / AUDIT	.00	20.00	5,200.00	5,180.00	.4
80-520-2080	ADVERTISING EXPENSE	.00	.00	3,000.00	3,000.00	.0
80-520-2250	CONTRACTED SERVICES	.00	.00	10,000.00	10,000.00	.0
80-520-2600	LEGAL EXPENSES	.00	.00	10,000.00	10,000.00	.0
80-520-2750	OFFICE SUPPLIES	.00	.00	1,000.00	1,000.00	.0
80-520-2880	STORE FRONT LOAN PROGRAM	.00	.00	100,000.00	100,000.00	.0
	TOTAL MATERIALS & SERVICES	.00	20.00	129,200.00	129,180.00	.0
<u>DEPARTMENT 550</u>						
80-550-2000	CAPITAL PROJECTS	.00	.00	60,000.00	60,000.00	.0
	TOTAL DEPARTMENT 550	.00	.00	60,000.00	60,000.00	.0
<u>DEPARTMENT 910</u>						
80-910-1000	CONTINGENCY	.00	.00	125,000.00	125,000.00	.0
	TOTAL DEPARTMENT 910	.00	.00	125,000.00	125,000.00	.0
<u>DEPARTMENT 950</u>						
80-950-6000	RESERVE - FUTURE CAPITAL	.00	.00	200,000.00	200,000.00	.0
	TOTAL DEPARTMENT 950	.00	.00	200,000.00	200,000.00	.0
<u>DEPARTMENT 990</u>						
80-990-1000	UNAPP ENDING FUND BALANCE	.00	.00	47,951.00	47,951.00	.0
	TOTAL DEPARTMENT 990	.00	.00	47,951.00	47,951.00	.0
	TOTAL FUND EXPENDITURES	.00	20.00	562,151.00	562,131.00	.0
	NET REVENUE OVER EXPENDITURES	1,688.54	141,680.81	.00	( 141,680.81)	.0



## CITY OF LA PINE

### STAFF REPORT

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Meeting Date: March 01, 2022  
TO: La Pine Urban Renewal Agency Board  
FROM: Geoff Wullschlager, City Manager  
SUBJECT: Budget Calendar

TYPE OF ACTION REQUESTED (Check one):

- |                                     |                         |                          |                  |
|-------------------------------------|-------------------------|--------------------------|------------------|
| <input type="checkbox"/>            | Resolution              | <input type="checkbox"/> | Ordinance        |
| <input type="checkbox"/>            | No Action – Report Only | <input type="checkbox"/> | Public Hearing   |
| <input checked="" type="checkbox"/> | <b>Formal Motion</b>    | <input type="checkbox"/> | Other/Direction: |

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Board members:

Please find attached, the Urban Renewal Agency proposed budget calendar for FY 2022-23. This calendar has the following requisite elements:

1. Appointment of Budget Officer
2. Publishing Requirements (Print and Digital) for Budget Committee Meeting -5 -30 days prior
3. Budget Committee Meeting date
4. Publishing Requirements (Print) for Budget Hearing – 5 – 30 days prior
5. Budget Hearing Meeting date
6. City staff roster
7. Board and Budget Committee Roster (Tentative)

Please note that these dates and time are subject to change but are intended to serve as our road map for producing a timely proposed budget. In the first meeting, the Budget Committee reviews the proposed budget and either approves the proposal or makes recommendations to be taken to the Budget Hearing. In the Budget Hearing (June) only the Urban Renewal Agency Board need attend. At this meeting the Approved Budget is then considered for Adoption. In both meetings, the public is invited to attend and participate. If the Board approves of the proposed calendar, please make a motion, followed by a second, and hold a vote on the item.





## **Urban Renewal District Budget Calendar Fiscal Year 2022-2023**

Urban Renewal Agency Appoints Budget Committee Members and Budget Officer	May 3, 2022 3:00 pm
Publish 1 <sup>st</sup> Notice of Budget Committee Meeting and Public Hearing for Comments from Public (WiseBuys/Bend Bulletin): To time and place certain.	by May 3, 2022
Publish 2 <sup>nd</sup> Notice of Budget Committee Meeting (Website Only): To time and place certain.	by May 3, 2022
Budget Meeting 1. Orientation, Budget Message, and Budget Committee Meeting	May 17, 2022 4:30 pm
Publish Notice of Budget Hearing (LB - 50 form) (WiseBuys/Bend Bulletin)	by June 7, 2022
Budget Meeting 2. Budget Hearing and Adoption of Budget	June 22, 2022 4:30 pm

Budget Officer: Geoff Wullschlager

Finance Staff: Kim Olsen, Jaime Kraft

Budget Committee: Vicki Russell, Chair, Colleen Scott, Vice Chair, John Cameron (**tentative**), Ann Gawith, Don Greiner (**tentative**), Andrea Hine, Daniel Richer, Russ Smith (**tentative**), Scott Asla

***\*\*All dates and times are subject to change***



## CITY OF LA PINE

### STAFF REPORT

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Meeting Date: March 01, 2022  
TO: La Pine Urban Renewal Agency Board  
FROM: Geoff Wullschlager, City Manager  
SUBJECT: City Council request for funds (La Pine Station Project)

TYPE OF ACTION REQUESTED (Check one):

- |                                     |                         |                          |                  |
|-------------------------------------|-------------------------|--------------------------|------------------|
| <input type="checkbox"/>            | Resolution              | <input type="checkbox"/> | Ordinance        |
| <input type="checkbox"/>            | No Action – Report Only | <input type="checkbox"/> | Public Hearing   |
| <input checked="" type="checkbox"/> | <b>Formal Motion</b>    | <input type="checkbox"/> | Other/Direction: |

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Board members:

#### SUMMARY

The City of LaPine has been working for several years (four) to develop the La Pine Station Project Concept, a multiuse transit center that would be adjacent to the current southern CET stop. As you may be aware, the location of the project is slated for the corner of 4<sup>th</sup> St. and Hwy. 97 (see Image 1.) This location is



Image 1.

currently a vacant lot, which is located within the Urban Renewal Overlay (see Image 2.)

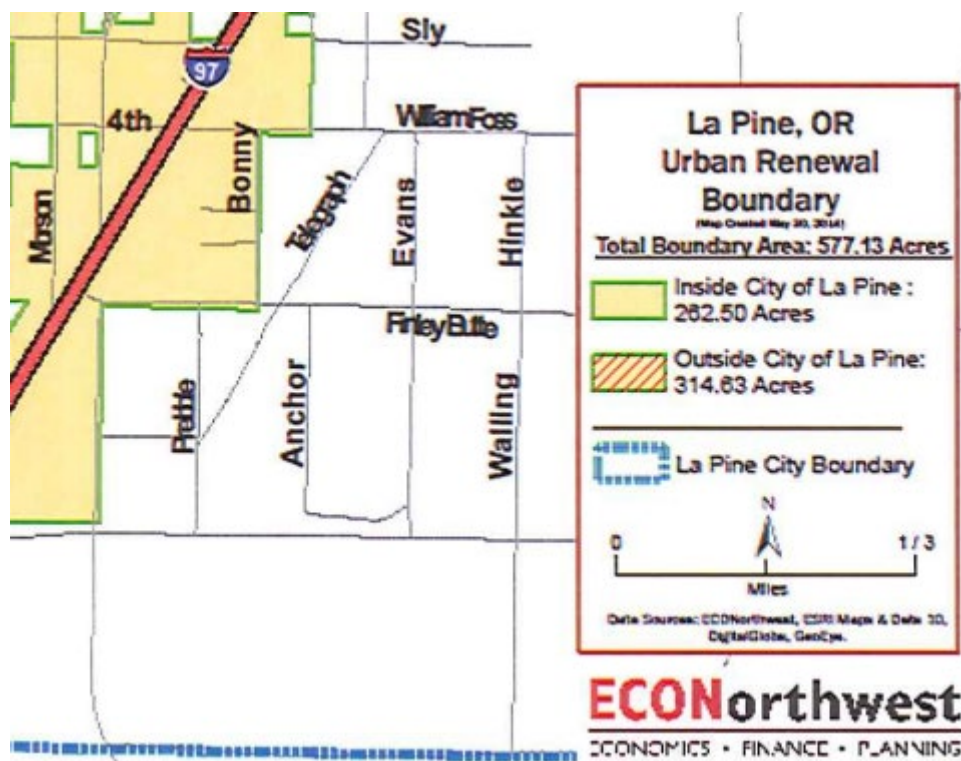


Image 2.

The project has been stalled for several years and the city has recently concluded the RFP process and is ready to move forward with an ammended development concept.

### **PROJECT RESTRICTIONS**

When the project was originally proposed in December of 2018 the City expected the total cost to not exceed \$827,594.97 which contained a 20% contingency, see preliminary Project Cots Estimate. Of this amount, ODOT has pledged \$744, 836.00, thought a Rail and Public Transportation Division Agreement with the city.

As of February 17, 2022, the lowest bid for the project was presented to the city at an estimated cost of \$1,627,970.00 which would leave the city short of full project funding by \$893,977.00. This amount reflects the remaining pledged amount from ODOT, \$733,933.00 after the initial project engineering expenditure of \$10,843.00. Under this scenario, the city was expected to also contribute the remainder of \$93,661.97.

The city must also utilize the ODOT funding by June 30, 2022, otherwise it is returned, and the process would need to be revisited in another grant cycle/period. This is also problematic as the funding that has been dedicated to this project comes from remaining ODOT funds that were originally appropriated for the HWY. 97 overpass project, and as a result, are not part of an annual awarding program.

### **PROPOSED REMEDY**

The city does not anticipate a completion of the full project, if a path forward can be accomplished. The initial strategy has been the reduction of development aspects that while desirable, are not necessary for the basic installment of a useable transit center that also meets ODOT's primary goal of transportation infrastructure. This keeps the project in line with the requirements attached to the remaining ODOT funding.

A redlining of the low bid sheet has been reviewed and is attached as a supplementary document to this staff report. In summary city administration has removed the following construction elements contained in Image 3.

Project Redline(s)		
Item (29.) 2-unit restroom	\$	(145,430.00)
Item (33.) Restroom and EVC electrical	\$	(179,405.00)
Item (37.) Picnic Shelter / Shade Structure	\$	(72,391.00)
Redline Balance	\$	(397,226.00)
<hr/>		
Updated Project Balance	\$	496,751.00

Image 3.

This has resulted in a project cost reduction of \$397,226.00, leaving a remaining balance of \$496,751.00. Please see the attached financial work sheet for a more in-depth analysis. It is of note that the items removed from the project can and will be re-proposed in future grant and project cycles.

City Administration feels that the adequate solution to move forward with this project is the contribution of budgeted city funds across the appropriate fund structures to see the initial phase of the project completed. With this model, funds would be diverted from Urban Renewal, the General Fund under capital outlay, in addition to budgeted funds in Tourism Fund, also earmarked for capital outlay. This is most important as the city is restricted in how it can dedicate expenditures, in addition to having expendable funds on hand, and as budgeted in the current fiscal year. As it stands, the city may need to go through an amended budget process which requires notice and public hearing to rededicate some of the needed appropriations. These funds are notated on the previously mentioned financial work sheet.

**CONCLUSION**

With the proposed amended project budget, the City would have a remaining outlying balance of \$76,751.00 which could be addressed by external funds with grant in aid, or the potential of a low interest state loan. City Administration is currently in discussions with several agencies on the possibility of alternative funding mechanisms.

As of the time of this report, and with the proposed Urban Renewal Expenditure, the Urban Renewal Fund would expend both its current FY 21/22 capital outlay of \$60,000 in addition to its reserve capital outlay appropriation of \$200,000. This would reduce the Urban Renewal Fund from a beginning balance of \$430,144.00 to \$170,124.00 while controlling for small administrative expenditures, and not considering any other Urban Renewal Spending in the current fiscal year. Please keep in mind that the Urban Renewal Fund has experienced an intake of \$141,063.73 to date for the current fiscal year, which will increase marginally in the remainder of the budget year and can be anticipated to continued until the Agency sunsets at a maximum assessment of \$7,019,000.00 in FY 2039/40.

This project directly aligns with Urban Renewal Plans Goals and Objectives:

- 3. Create an Identifiable Town Center as a Hub of Community Activity
- 6. Public Facilities

and coincides with Urban Renewal Projects identified in the plan under:

V.A. District Identity/Transportation Improvements

V.C. Public Facilities/Infrastructure

The City Council has asked that City Administration bring this request before the Urban Renewal Agency for immediate consideration as it intends to award the project at its March 9<sup>th</sup> meeting. Given the short window in which the city has to break ground and complete this project, four months, it is imperative that the city reach conclusion on a path forward at this time.

Bidder Name Morello Construction LLC**Base Bid Schedule****LA PINE STATION**

Item #	Description of Item	QTY	Unit	Unit Price Bid	Total Price Bid
1	Mobilization	1	Lump Sum	120,583.00	120,583.00
2	Work Zone Traffic Control	1	Lump Sum	10,400.00	10,400.00
3	Construction Staking	1	Lump Sum	8,500.00	8,500.00
4	Temporary Construction Fencing (Work Area only)	1	Lump Sum	6,000.00	6,000.00
5	Erosion and Sediment Control	1	Lump Sum	7,870.00	7,870.00
6	Clearing and Grubbing	1	Lump Sum	15,400.00	15,400.00
7	Removal of Concrete Walks	55	Square Yard	63.00	3,465.00
8	Removal of Curbs	77	Foot	26.00	2,002.00
9	Removal of Asphalt	36	Square Yard	55.00	1,980.00
10	Excavation and Earthwork	1345	Cubic Yard	27.00	36,315.00
11	Public Street Curb	77	Foot	110.00	8,470.00
12	Concrete Walks, 4-inch	360	Square Foot	20.00	7,200.00
13	Concrete Driveway, 6-inch	825	Square Foot	22.00	18,150.00
14	Water Service, 2-inch	1	Each	9,066.00	9,066.00
15	Standard Concrete Curb	795	Foot	48.00	38,160.00
16	Rolled Curb, 4" reveal	115	Foot	80.00	9,200.00
17	HMAC, 3-inch	1677	Square Yard	27.00	45,279.00

18	3/4"-minus Base Rock, 8-inch	1677	Square Yard	32.00	53,664.00
19	Trash Enclosure	1	Each	15,032.00	15,032.00
20	Area Drain Catch Basin	4	Each	4,515.00	18,060.00
21	Drain Pipe, 8-inch	215	Foot	67.00	14,405.00
22	PVC Water Service Lines, 2-inch	111	Foot	58.00	6,438.00
23	Septic Tank	1	Each	11,565.00	11,565.00
24	Ornamental Lighting Poles, Luminaire, Lamps, and Ballasts	4	Each	16,088.00	64,352.00
25	Concrete Street Light Pole Foundation	4	Each	964.00	3,856.00
26	Electrical Conduit, 1-inch	860	Foot	68.00	58,480.00
27	Electrical Junction Box	4	Each	3,788.00	15,152.00
28	10# XHHW Copper Wire (3)	2580	Foot	6.00	15,480.00
29	2 Unit Restroom building (include installation)	1	Lump Sum	<del>145,430.00</del>	<del>145,430.00</del>
30	4" Sewer Lateral in Public Right of Way	55	Foot	306.00	16,830.00
31	2" Water Service in Public Right of Way	1	Each	18,713.00	18,730.00
32	2" Backflow Device	1	Each	4,565.00	4,565.00
33	Site Electrical for Restroom and Electric Vehicle Charging Station	1	Lump Sum	<del>179,405.00</del>	<del>179,405.00</del>
34	Concrete Flatwork, 4-inch	6775	Square Foot	22.00	149,050.00
35	Concrete Flatwork, 6-inch	572	Square Foot	26.00	14,872.00
36	ODOT Street Lights	3	Each	23,035.00	69,105.00
37	Picnic Shelter/Shade Structure Installed	1	Lump Sum	<del>72,391.00</del>	<del>72,391.00</del>

38	Site Wall/Seat Wall/Art Wall including Flagpole Sleeves	1	Lump Sum	95,935.00	95,935.00
39	Bicycle Racks	3	Each	3,362.00	3,362.00
40	Bicycle Fix It Station	1	Each	5,490.00	5,490.00
41	Trash Receptacle	3	Each	750.00	2,250.00
42	Pavement Markings	2110	Foott	4.50	9,495.00
43	Street Signs	3	Each	560.00	1,680.00
44	Gravel Surfacing on Phase 2 Area (2" depth uncompacted)	1235	Square Yards	10.00	12,350.00
45	Trees Evergreen – 4' – 5' Ht	4	Each	525.00	2,100.00
46	Turf Areas – Seed	1070	Square Feet	2.50	2,675.00
47	Ornamental Shrub Beds – Medium Density Planting	1070	Square Feet	9.00	9,630.00
48	Topsoil at Turf Areas (6" Depth)	119	Cubic Yard	72.00	8,568.00
49	Topsoil at Shrub Beds (6" Depth)	1650	Cubic Yard	72.00	118,800.00
50	Irrigation System (Turf and Shrub Areas)	15,970	Foott	2.50	39,925.00
51	Cedar Wood Fence	306	Foot	68.00	20,808.00

**Total Amount of Base Bid**                      \$ 1,627,970.<sup>00</sup>

**Total Base Bid price written out in words:** One million Six hundred  
Twenty Seven thousand nine hundred Seventy Dollars & zero cents

All Unit Price Bids should be considered as "Furnished and Installed" unless otherwise noted in these Request for Bid.

Please invoice referencing the above exact line item numbers and line items. All quantities must be approved by the Project Engineer before invoicing. Bidder acknowledges that





Bid Amount	\$	1,627,970.00
ODT Funding	\$	733,993.00
Remaining Project Balance	\$	893,977.00

Project Redline(s)		
Item (29.) 2 unit restroom	\$	(145,430.00)
Item (33.) Restroom and EVC electrical	\$	(179,405.00)
Item (37.) Picnic Shelter / Shade Structure	\$	(72,391.00)
Redline Balance	\$	(397,226.00)
Updated Project Balance	\$	496,751.00

City of La Pine Contributions		
Urban Renewal Fund - Capital Projects	\$	260,000.00
General Fund - Capital Outlay	\$	100,000.00
Tourism Fund - Capital Outlay	\$	60,000.00
City	\$	420,000.00
Remaining Project Balance	\$	(76,751.00)

Budgeted FY 21/22 (will require and amended budget)

Budgeted FY 21/22

Budgeted FY 21/22

This residual amount could be addressed by potential increase of General Fund appropriations or other outside funding sources



**VICINITY MAP**  
SCALE: NTS

# 4TH STREET TRANSIT CENTER

## DEVELOPMENT PLANS

### TAXLOT: 221014BC 00100

### SEPTEMBER 2020

CITY OF LA PINE, DESCHUTES COUNTY, OREGON

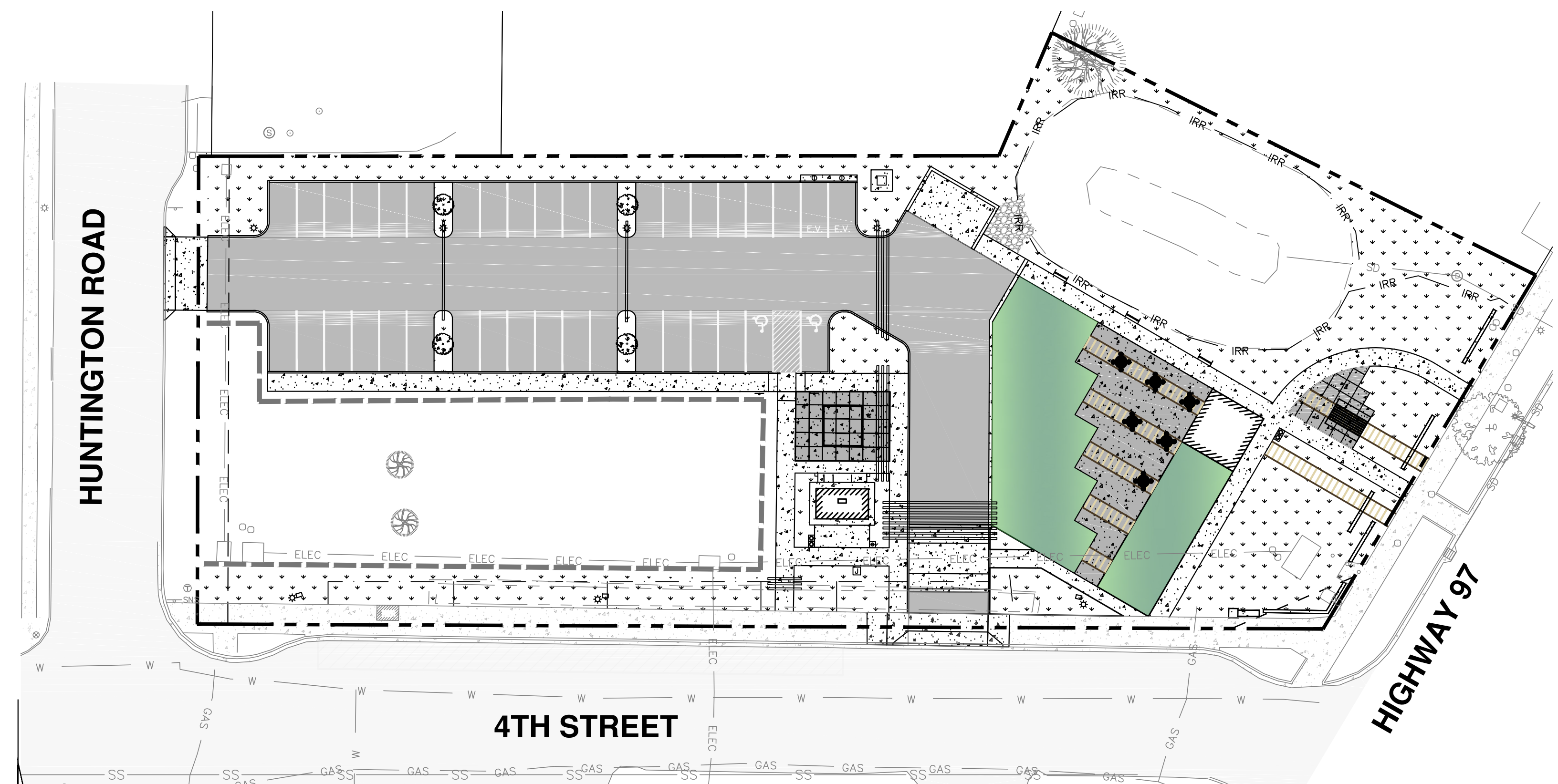
PROPERTY OWNER:  
OREGON DEPARTMENT OF TRANSPORTATION  
4040 FAIRVIEW INDUSTRIAL DR SE #MS-2  
SALEM, OREGON 97739

CIVIL ENGINEER & LAND SURVEYOR:  
BECON CIVIL ENGINEERING & LAND SURVEYING  
549 SW MILL VIEW WAY, SUITE 100  
BEND, OREGON 97702

LANDSCAPE ARCHITECT:  
KATRINA LANGENDERFER  
48 SE BRIDGEFORD BLVD SUITE 230  
BEND, OR 97702

### CONSTRUCTION NOTES:

- NO CONSTRUCTION SHALL BE STARTED WITHOUT APPROVAL BY THE CITY OF LA PINE. THE CITY AND THE DESIGN ENGINEER SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY CONSTRUCTION WORK DONE PRIOR TO NOTICE TO PROCEED BEING ISSUED OR WITHOUT INSPECTION WILL BE REJECTED.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS ON THE JOB SITE INCLUDING BUT NOT LIMITED TO, ALL DIMENSIONS, GRADES, ELEVATIONS, EXTENT AND COMPATIBILITY TO THE EXISTING SITE CONDITIONS, AND WITH THE WORK DESCRIBED ON THE ENGINEER'S DRAWINGS. ANY DISCREPANCIES OR UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. CONTRACTOR SHALL NOT PROCEED WITH ANY OF THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, THEN IT IS UNDERSTOOD THAT THE CONTRACTOR IS CHOOSING TO PROCEED AT THE CONTRACTOR'S OWN RISK AND SHALL INCUR ALL COSTS, IF ANY TO RESOLVE THE ISSUES TO THE SATISFACTION OF THE ENGINEER.
- A CITY INSPECTOR ACTING ON BEHALF OF THE CITY MAY REQUIRE REVISIONS IN PLANS TO SOLVE UNFORESEEN PROBLEMS THAT MAY ARISE IN THE FIELD.
- ALL CONSTRUCTION WORK AND INSTALLATIONS SHALL CONFORM TO CURRENT CITY OF LA PINE STANDARDS & SPECIFICATIONS REQUIREMENTS, AND ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE CITY.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT "UNDERGROUND LOCATE SERVICE" AT 1-800-332-2344 AT LEAST 48 BUSINESS-DAY HOURS PRIOR TO THE START OF CONSTRUCTION FOR THE LOCATION OF POWER, GAS, CABLE TV AND TELEPHONE UNDERGROUND FACILITIES. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR CONTACTING THE APPROPRIATE PUBLIC AGENCY FOR THE LOCATION OF UNDERGROUND FACILITIES.
- ALL UTILITIES SHOWN ARE ACCURATE TO THE EXTENT OF AVAILABLE RECORDS AND KNOWLEDGE. NO POT-HOLING TO VERIFY LOCATIONS AND ELEVATIONS HAS BEEN PERFORMED. THE CONTRACTOR HAS THE TOTAL RESPONSIBILITY TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND TO NOTIFY THE UTILITY COMPANIES WHEN WORKING IN THEIR PROXIMITY. CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503)232-2987.
- ALL GRADING SHALL BE IN CONFORMANCE WITH THE CURRENT CITY STANDARDS AND SPECIFICATIONS AND CURRENT GRADING ORDINANCE. ALL SUBGRADE MATERIAL SHALL BE CONSIDERED CLASS A AND COMPACTED TO 95% OF OPTIMUM DENSITY. AS SPECIFIED IN THESE PLANS, ALL FILL MATERIAL SHALL BE COMPACTED TO 95% RELATIVE COMPACTION PER THE CITY STANDARDS. TESTING TO BE REQUIRED IF REQUESTED BY THE OWNER OR EOR.
- ALL FINAL CUT SLOPES SHALL NOT EXCEED A GRADE OF 2 TO 1 VERTICAL UNLESS OTHERWISE APPROVED. FILL SLOPES SHALL NOT EXCEED A GRADE OF 2 HORIZONTAL TO 1 VERTICAL UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- ALL UNSUITABLE SOILS MATERIALS, RUBBISH AND DEBRIS RESULTING FROM GRADING OPERATIONS SHALL BE REMOVED FROM THE JOB SITE AND DISPOSED OF PROPERLY.
- THE CONTRACTOR SHALL EMPLOY ALL LABOR, EQUIPMENT, AND METHODS REQUIRED TO PREVENT DUST IN AMOUNTS DAMAGING TO PROPERTY, CULTIVATED VEGETATION AND DOMESTIC ANIMALS OR CAUSING A NUISANCE TO PERSONS OCCUPYING BUILDINGS IN THE VICINITY OF THE JOB SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY DUST RESULTING FROM CONSTRUCTION.
- THE CONTRACTOR SHALL FOLLOW ALL APPLICABLE INDUSTRIAL SAFETY REGULATIONS. THE CITY AND DESCHUTES COUNTY AND THEIR OFFICIALS, THE ENGINEER, AND THE OWNER SHALL NOT BE RESPONSIBLE FOR ENFORCING SAFETY REGULATIONS.
- MATERIAL QUANTITIES USED, NOTED, OR PROVIDED IN A SEPARATE ITEMIZED QUANTITY TAKE-OFF ARE AN ENGINEER'S OPINION OF PROBABLE MATERIAL REQUIREMENTS, AND IS AN ESTIMATE ONLY. CONTRACTOR'S HAVE THE SOLE RESPONSIBILITY OF MAKING THEIR OWN QUANTITY TAKE-OFF AND COST ESTIMATE.
- ALL WORK SHALL BE PERFORMED BY A CITY APPROVED CONTRACTOR.
- UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS (PUE) IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN SERVING THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE THE REMOVAL OF ANY OBSTRUCTIONS INCLUDING TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE AT THE LOT OWNERS EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE PUE WITHOUT PRIOR WRITTEN APPROVAL OF THE UTILITIES AND FACILITIES IN THE PUE.
- CITY ENGINEER'S SIGNATURE DOES NOT CONSTITUTE APPROVAL OF FACILITIES PROPOSED ON PRIVATE PROPERTY. SEPARATE PERMITS ISSUED BY THE BUILDING DEPARTMENT ARE REQUIRED AND SHALL BE OBTAINED BY THE DEVELOPER FOR FACILITIES LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY.
- ANY WORK WITHIN EXISTING PUBLIC RIGHT-OF-WAY OR DEDICATED CITY EASEMENTS REQUIRES A SEPARATE RIGHT-OF-WAY EXCAVATION PERMIT OBTAINED FROM THE CITY ENGINEERING DIVISION.
- ACCESS TO EXISTING PROPERTIES/RESIDENTS AFFECTED BY CONSTRUCTION ACTIVITIES WILL BE MAINTAINED AT ALL TIMES BY THE CONTRACTOR. EMERGENCY ACCESS AND COORDINATION OF BEND EMERGENCY SERVICES WILL BE REQUIRED.
- SURVEY MONUMENTS, CONTROLS, OR PROPERTY CORNERS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION ACTIVITIES WILL BE RE-ESTABLISHED, RESTORED, AND/OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL NECESSARY CHANGES TO DESIGN PLANS, REVEALED DURING CONSTRUCTION, MUST BE APPROVED BY THE DESIGN ENGINEER AND CITY OF LA PINE.



**SITE MAP**  
SCALE: 1"=30'

### SHEET INDEX:

- C1.0 COVER SHEET
- C2.0 EXISTING CONDITIONS & DEMO PLAN
- C3.0 SITE PLAN
- C4.0 UTILITY PLAN
- C4.1 SLEEVE PLAN
- C5.0 GRADING & DRAINAGE PLAN
- C6.0 DETAIL SHEET

### SITE DATA

ADDRESS: 51487 HIGHWAY 97  
PROPERTY AREA: 1.47 ACRES / 64,000 SF  
ZONING: TRADITIONAL COMMERCIAL  
EXISTING LAND USE: VACANT  
PROPOSED LAND USE: TRANSIT CENTER



4TH ST TRANSIT CENTER  
LA PINE, OR  
COVER SHEET  
DESCHUTES COUNTY, OREGON



REVISIONS:  
1.  
2.  
3.

DESIGNED BY: AKP  
DRAWN BY: CWA  
SCALE: NTS  
FILE: 13744-65  
DATE: 12/02/2020

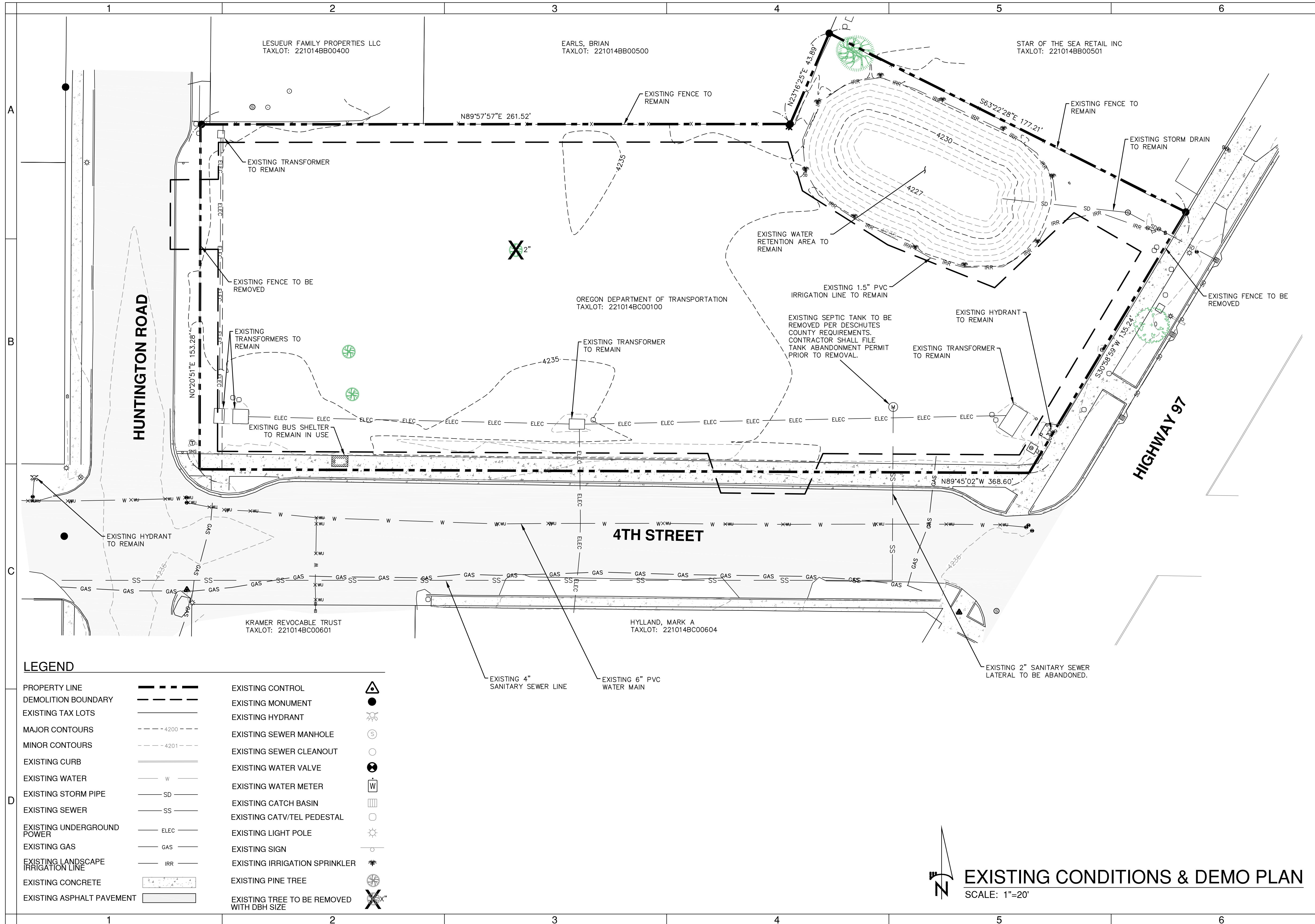
549 SW MILL VIEW WAY  
SUITE 105  
BEND, OREGON 97702  
(541) 633-3140  
www.becong.com

VERIFY SCALES  
0 1"  
BAR EQUALS ONE INCH  
ON ORIGINAL DRAWING

SHEET: C1.0

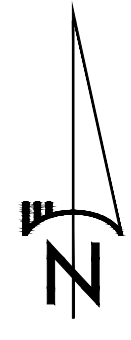
1 OF 7

FILE# 13744-65

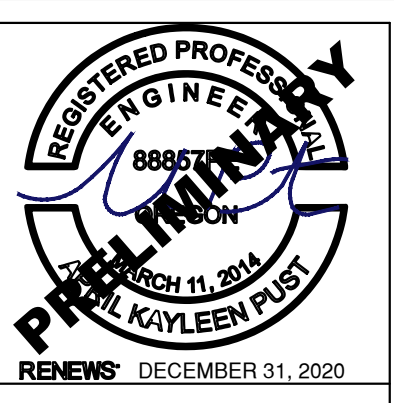


**LEGEND**

PROPERTY LINE		EXISTING CONTROL	
DEMOLITION BOUNDARY		EXISTING MONUMENT	
EXISTING TAX LOTS		EXISTING HYDRANT	
MAJOR CONTOURS		EXISTING SEWER MANHOLE	
MINOR CONTOURS		EXISTING SEWER CLEANOUT	
EXISTING CURB		EXISTING WATER VALVE	
EXISTING WATER		EXISTING WATER METER	
EXISTING STORM PIPE		EXISTING CATCH BASIN	
EXISTING SEWER		EXISTING CATV/TEL PEDESTAL	
EXISTING UNDERGROUND POWER		EXISTING LIGHT POLE	
EXISTING GAS		EXISTING SIGN	
EXISTING LANDSCAPE IRRIGATION LINE		EXISTING IRRIGATION SPRINKLER	
EXISTING CONCRETE		EXISTING PINE TREE	
EXISTING ASPHALT PAVEMENT		EXISTING TREE TO BE REMOVED WITH DBH SIZE	



**EXISTING CONDITIONS & DEMO PLAN**  
SCALE: 1"=20'



**4TH ST TRANSIT CENTER**  
**LA PINE, OR**  
**EXISTING CONDITIONS & DEMO PLAN**  
DESCHUTES COUNTY, OREGON



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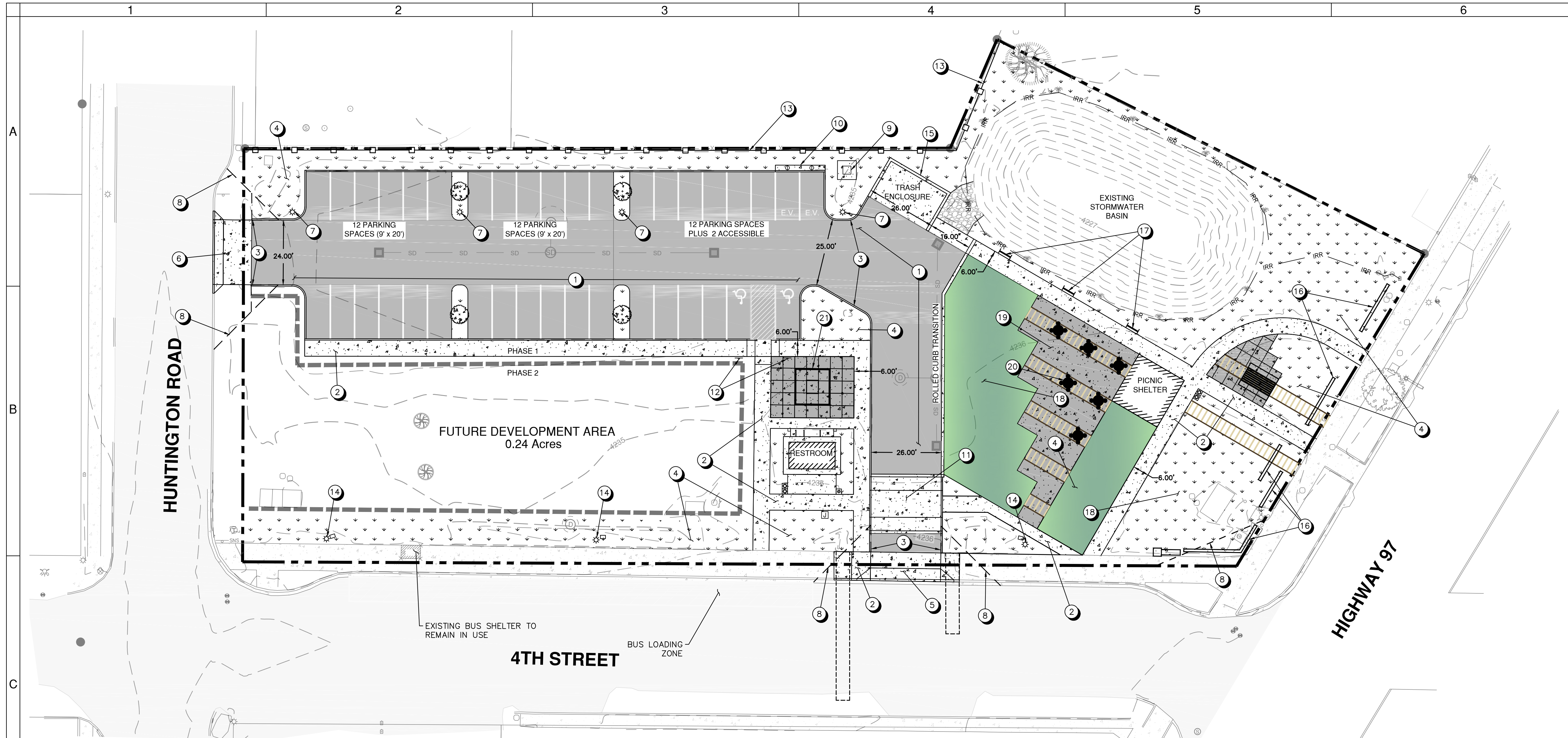
DESIGNED BY: AKP  
DRAWN BY: CWA  
SCALE: 1"=20'  
FILE: 13744-65  
DATE: 12/02/2020

VERIFY SCALES  
0 1"  
BAR EQUALS ONE INCH ON ORIGINAL DRAWING

SHEET: **C2.0**

2 OF 7

FILE# 13744-65



**SITE NOTES**

- |  |   |
|--|---|
| <p>① CONSTRUCT NEW 3" HMA OVER 8" COMPACTED GRAVEL BASE FOR PARKING LOT</p> <p>② CONSTRUCT WALKWAY WITH 4" CONCRETE OVER 4" COMPACTED GRAVEL BASE PER ODOT STD DWG'S RD 720</p> <p>③ CONSTRUCT STANDARD 12" CURB WITH 6" REVEAL PER ODOT STD DWG RD-700</p> <p>④ PROPOSED LAWN AREA. REFER TO LANDSCAPING PLANS</p> <p>⑤ PROPOSED DRIVEWAY TO BE INSTALLED PER ODOT STD DWG RD 745 OPTION K</p> <p>⑥ PROPOSED DRIVEWAY TO BE INSTALLED PER ODOT STD DWG RD 740 OPTION H</p> <p>⑦ PROPOSED LIGHT POLE</p> <p>⑧ CLEAR VISION AREA</p> <p>⑨ PROPOSED TRANSFORMER</p> <p>⑩ PROPOSED ELECTRIC VEHICLE CHARGING STATIONS</p> <p>⑪ PROPOSED RAISED CONCRETE PEDESTRIAN CROSSING. CONSTRUCT WITH 6" CONCRETE OVER 4" COMPACTED GRAVEL BASE</p> | <p>⑫ PROPOSED ADA SIGN</p> <p>⑬ PROPOSED 6' CEDAR FENCE</p> <p>⑭ PROPOSED ODOT STREET LIGHTS. SEE DETAIL 3 ON SHEET C6.0 FOR BASE DETAILS</p> <p>⑮ PROPOSED CMU WALL SURROUNDING TRASH ENCLOSURE 6' IN HEIGHT.</p> <p>⑯ PROPOSED CONCRETE SEAT WALL. REFER TO LANDSCAPING PLANS</p> <p>⑰ PROPOSED PARK BENCH</p> <p>⑱ PROPOSED XERISCAPE AREA. REFER TO LANDSCAPING PLANS.</p> <p>⑲ PROPOSED CONCRETE AREA WITH 4" CONCRETE OVER 4" COMPACTED GRAVEL BASE.</p> <p>⑳ FIXED PICNIC TABLES INSTALLED BY CITY.</p> <p>㉑ RAISED PLANTER BOX. SEE SHEET H2.0.</p> |
|--|---|

**LEGEND**

PROPOSED CONCRETE		EXISTING PROPERTY LINE	
EXISTING CONCRETE		PROPOSED BUILDING	
PROPOSED ASPHALT		PROPOSED CURB	
EXISTING ASPHALT		PROPOSED SAWCUT	
PROPOSED LAWN AREA		CLEAR VISION AREA	
PROPOSED LANDSCAPE AREA		PHASE 2 BOUNDARY	
STAINED CONCRETE (RUSTIC BROWN)		PROPOSED FENCE	
		PROPOSED LIGHT	
		PROPOSED TREE	

**SITE PLAN**  
SCALE: 1"=20'



4TH ST TRANSIT CENTER  
LA PINE, OR  
SITE PLAN  
DESCHUTES COUNTY, OREGON



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FILE: 13744-65  
DATE: 12/02/2020

VERIFY SCALES  
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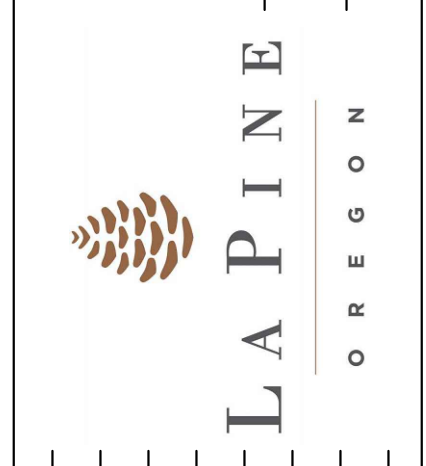
SHEET: C3.0

3 OF 7

FILE# 13744-65



4TH ST TRANSIT CENTER  
 LA PINE, OR  
 UTILITY PLAN  
 DESCHUTES COUNTY, OREGON



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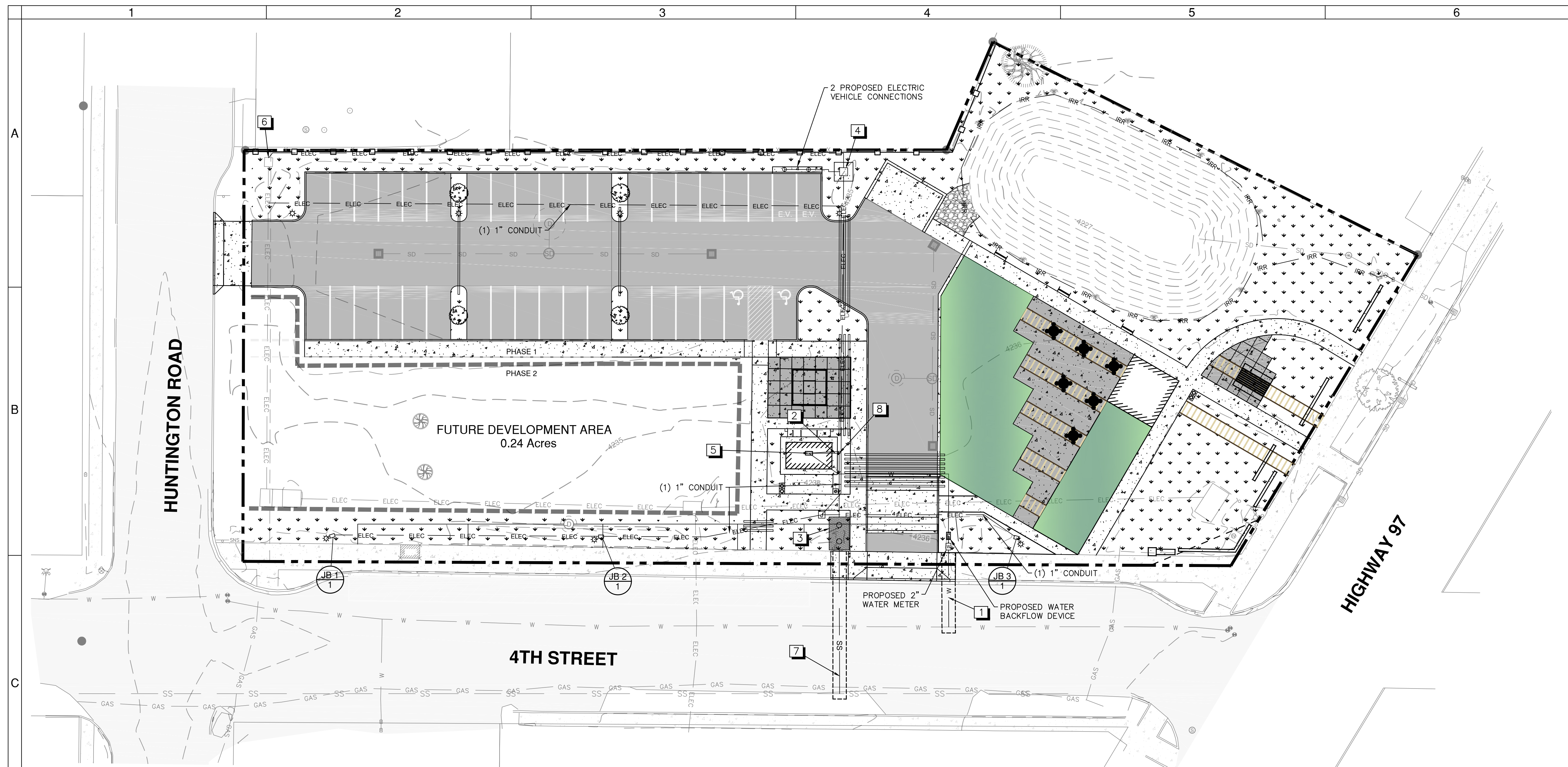
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 DRAWN BY: CWA  
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 FILE: 13744-65  
 DATE: 12/02/2020

VERIFY SCALES  
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SHEET: C4.0

4 OF 7

FILE# 13744-65



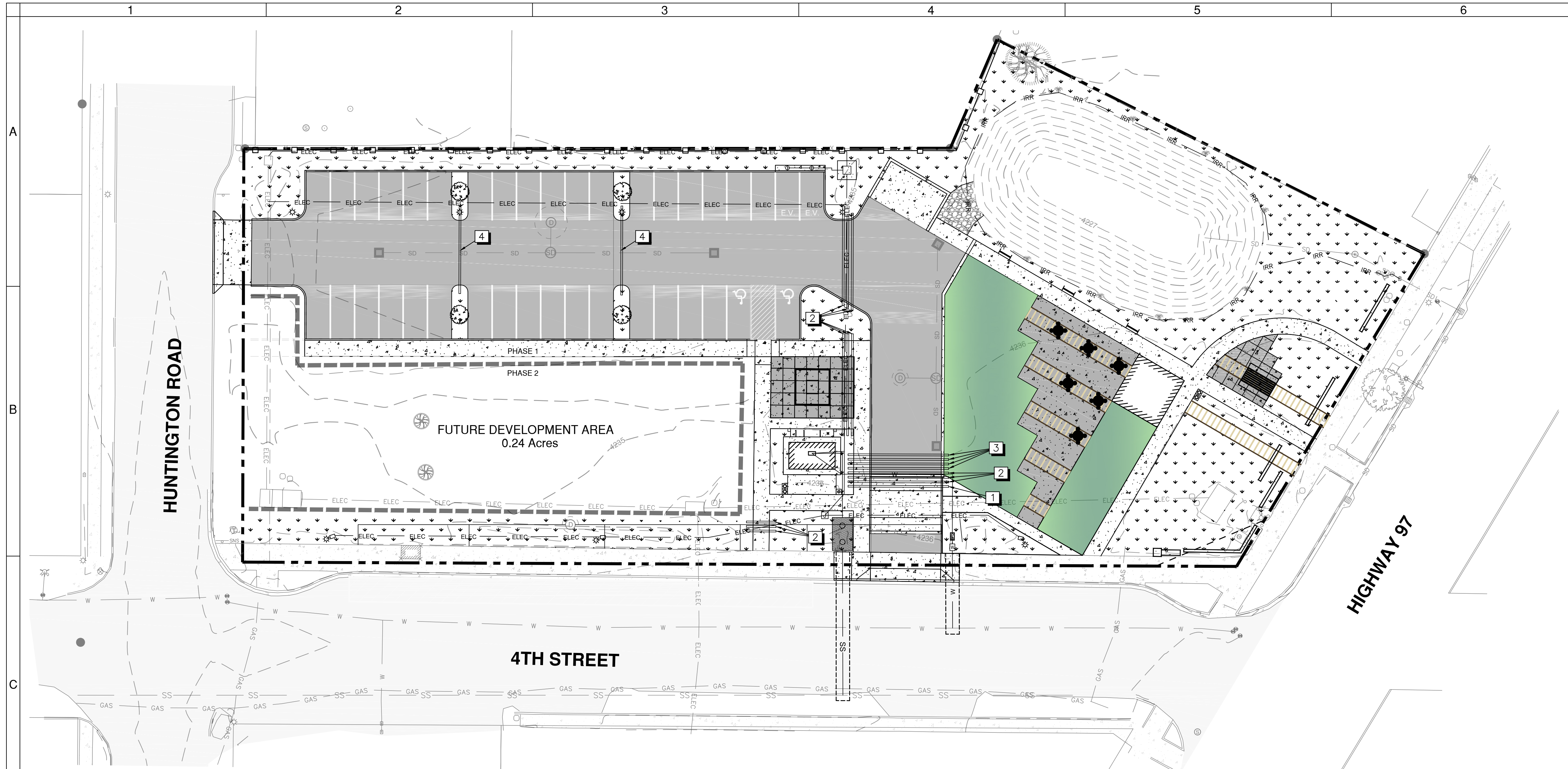
**UTILITY NOTES**

- 1 INSTALL 2" WATER SERVICE, HOT TAP PER CITY OF LA PINE STANDARDS
  - 2 INSTALL 4" PVC SEWER LINE FROM RESTROOMS. SLOPE PIPE AT MINIMUM 2%
  - 3 3000 GALLON CONCRETE SEPTIC TANK WITH DECORATIVE LIDS
  - 4 PROPOSED POWER TRANSFORMER
  - 5 16" x 32" PLUMBING BLOCKOUT FOR BATHROOMS
  - 6 ELECTRICAL SERVICE TO BE TIED INTO EXISTING ELECTRICAL TRANSFORMER
  - 7 4" PVC SANITARY SEWER EFFLUENT LINE TO RUN FROM SEPTIC TANK TO SEWER MAIN
  - 8 INSTALL CLEANOUT AND TWO 45° FITTINGS
- JUNCTION BOXES WILL BE LOCATED AT EACH ODOT STREET LIGHT AND ALL STREET LIGHTS WILL BE CONNECTED BY 1" CONDUIT
- JB X  
 1 INSTALL 17"x10"x12" (MIN. DIMENSION) PRECAST CONCRETE JUNCTION BOX W/ METAL LID PER ODOT STANDARD DETAIL TM472 LOCATED ON SHEET 6.0  
 AT STANDARD LIGHT POLE, PERFORM SWEEP UP OF LINE FOR INSTALLATION.

**LEGEND**

PROPOSED CONCRETE		EXISTING PROPERTY LINE	
EXISTING CONCRETE		PROPOSED BUILDING	
PROPOSED ASPHALT		PROPOSED CURB	
EXISTING ASPHALT		PROPOSED SAWCUT	
PROPOSED LAWN AREA		PHASE I AND II BOUNDARY	
PROPOSED LIGHT		PROPOSED SANITARY SEWER	
PROPOSED WATER METER		PROPOSED ELECTRICAL LINE	
PROPOSED WATER BACKFLOW DEVICE		PROPOSED STORM DRAIN	
PROPOSED ELECTRIC JUNCTION		PROPOSED WATER LINE	
		PROPOSED CONDUIT SLEEVE	

**UTILITY PLAN**  
 SCALE: 1"=20'



**UTILITY NOTES**

- 1** INSTALL 8" CONDUIT SLEEVE WITH 4' COVER.
  - 2** INSTALL 4" CONDUIT SLEEVE WITH MIN. 1' COVER.
  - 3** INSTALL 3" CONDUIT SLEEVE WITH MIN. 1' COVER.
  - 4** INSTALL 2" CONDUIT SLEEVE WITH MIN. 1' COVER.
- INSTALL TRACER WIRE IN EACH SLEEVE  
 INSTALL CLEAN-OUT OR BOX AT EACH END OF EVERY SLEEVE

**LEGEND**

PROPOSED CONCRETE		EXISTING PROPERTY LINE	
EXISTING CONCRETE		PROPOSED BUILDING	
PROPOSED ASPHALT		PROPOSED CURB	
EXISTING ASPHALT		PROPOSED SAWCUT	
PROPOSED LAWN AREA		PHASE I AND II BOUNDARY	
PROPOSED LIGHT		PROPOSED SANITARY SEWER	
PROPOSED WATER METER		PROPOSED ELECTRICAL LINE	
PROPOSED WATER BACKFLOW DEVICE		PROPOSED STORM DRAIN	
PROPOSED ELECTRIC JUNCTION		PROPOSED WATER LINE	
		PROPOSED CONDUIT SLEEVE	

**SLEEVE PLAN**  
 SCALE: 1"=20'



**4TH ST TRANSIT CENTER**  
 LA PINE, OR  
 SLEEVE PLAN



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 FILE: 13744-65  
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VERIFY SCALES  
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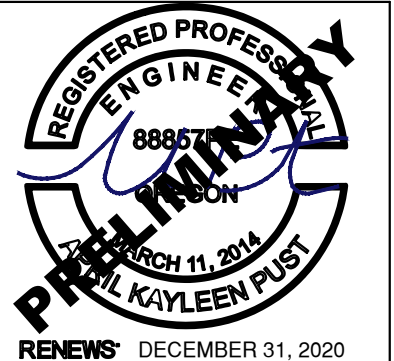
SHEET: **C4.1**

5 OF 7

FILE# 13744-65

DESCHUTES COUNTY, OREGON

OREGON



RENEWS DECEMBER 31, 2020

4TH ST TRANSIT CENTER  
LA PINE, OR  
GRADING & DRAINAGE PLAN  
DESCHUTES COUNTY, OREGON



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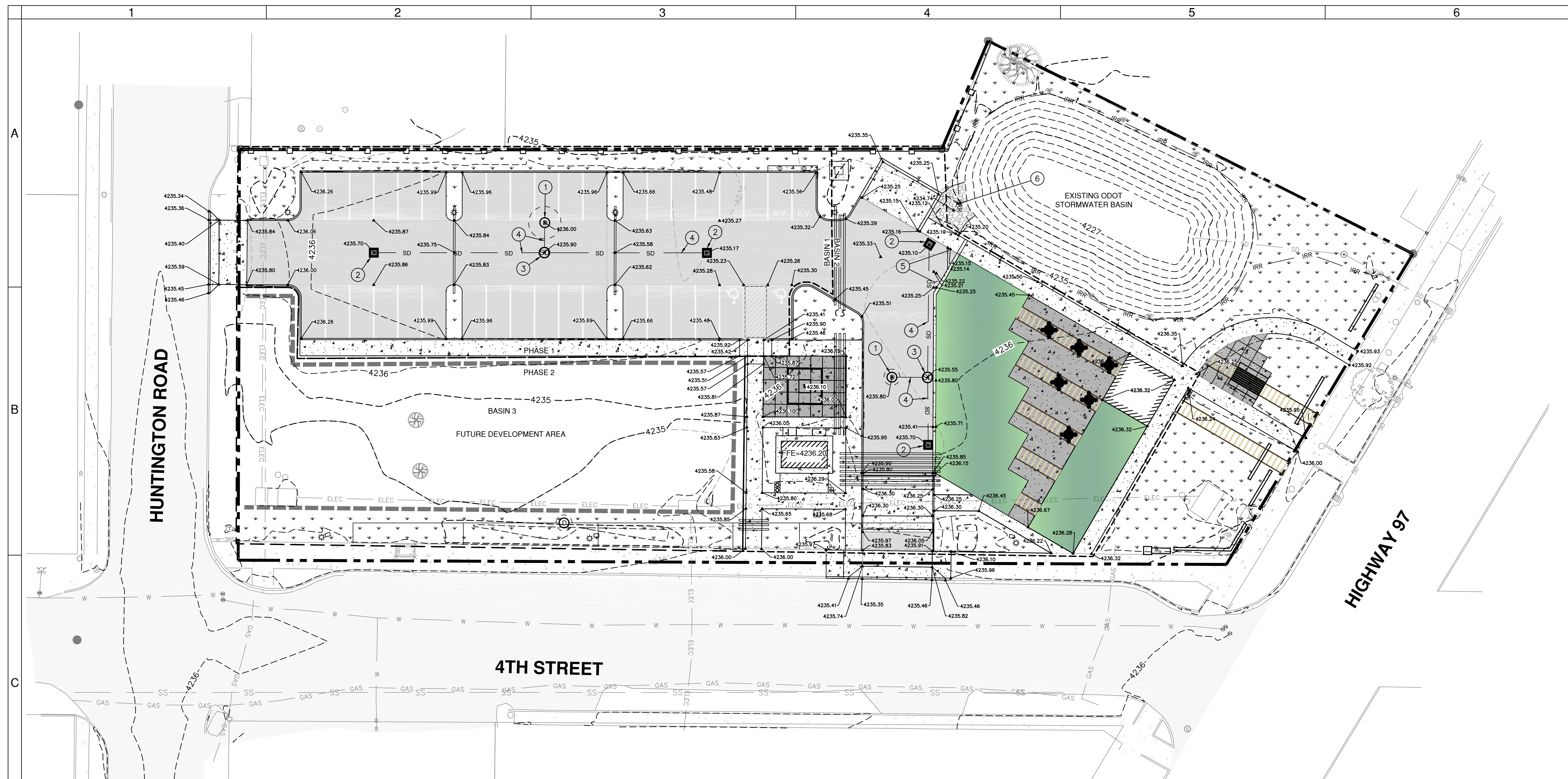
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SCALE: 1"=20'  
FILE: 13744-65  
DATE: 12/02/2020

VERIFY SCALES  
0 1"  
BAR EQUALS ONE INCH  
ON ORIGINAL DRAWING

SHEET: C5.0

6 OF 7

FILE# 13744-65



**GRADING & DRAINAGE NOTES**

- ① INSTALL PRE-CAST TYPE II DRYWELL PER DETAIL 1 ON SHEET C6.0
- ② INSTALL STANDARD TYPE "3" CATCH BASIN PER ODOT STD DWG RD 378
- ③ INSTALL PRE-CAST STORMWATER SEDIMENTATION MANHOLE PER DETAIL 2 ON SHEET C6.0
- ④ INSTALL 8" PVC STORM PIPE. PIPE TO SLOPE AT A MIN. OF 2% SLOPE
- ⑤ ROLLED CURB TO TRANSITION TO FLUSH WITH ASPHALT BETWEEN DRIVEWAY AND XERISCAPE AREA
- ⑥ DRAINAGE ROCK INTO SWALE FOR SNOW REMOVAL AND EROSION PREVENTION. USE MINIMUM SIZE OF 4" GRAVEL AGGREGATE IN CONSTRUCTING DRAINAGE

**STORMWATER CALCULATIONS**

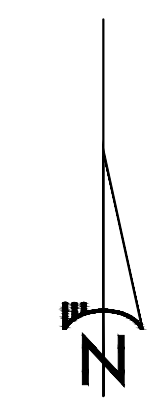
6 MONTH = 1.0" / 25 YEAR = 2.5" / 100 YEAR = 3.0"

BASIN	IMPERVIOUS AREA (SF/AC) CN=98	25 YR STORM PEAK FLOW (CFS/GPM)	25 YR STORM VOLUME (CF/GAL)
1	11,737/0.27	0.69/309.67	2,082/15,573
2	8,345/0.19	0.49/287.23	1,480/11,070
3	16,437/0.38	0.49/287.23	1,480/11,070

NOTE:  
STORMWATER SYSTEM, INFILTRATION, AND TESTING TO BE DESIGNED PER CITY OF LA PINE AND COSM DESIGN STANDARDS FOR CITY OF LA PINE BUILDING PERMIT.

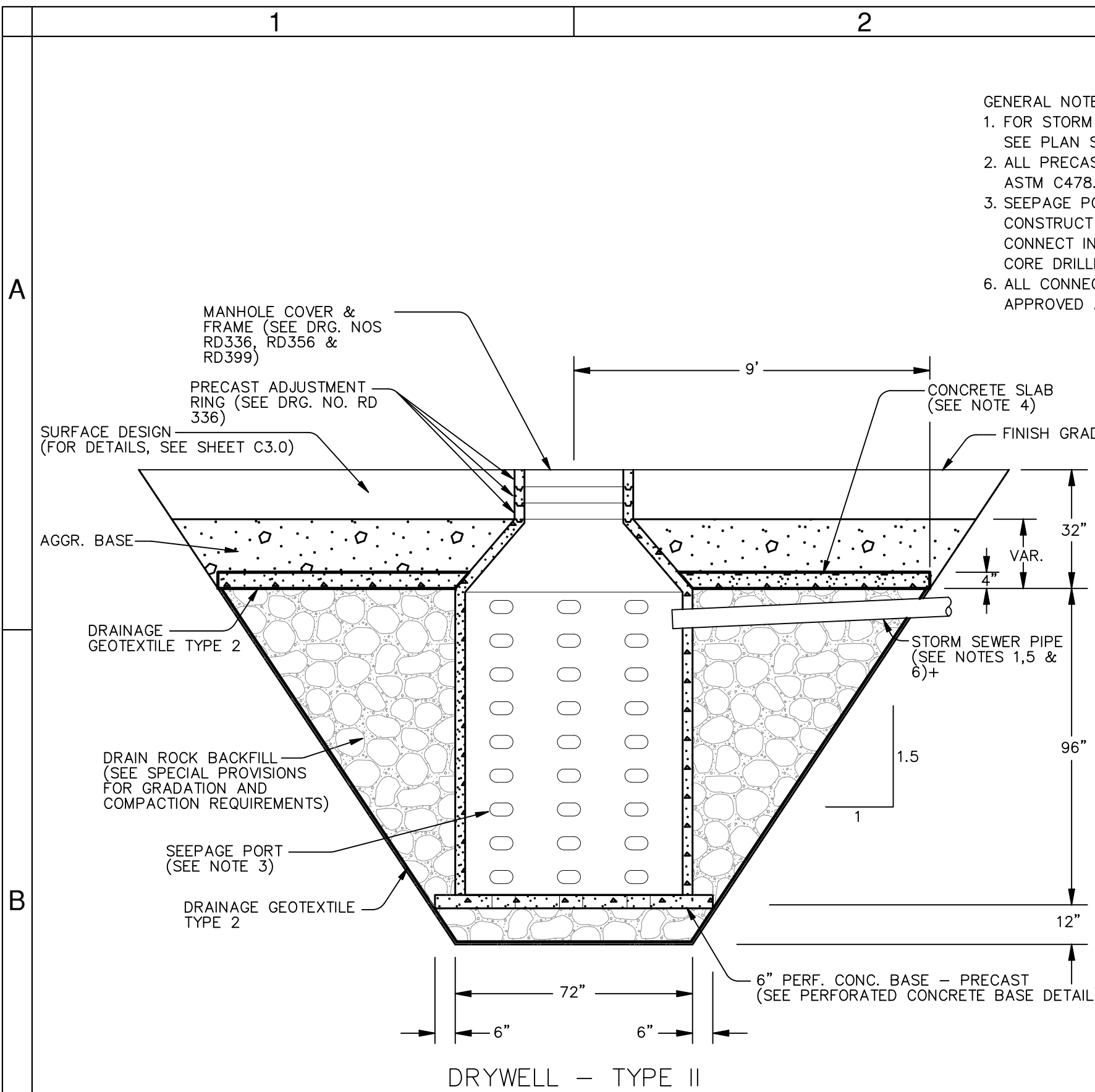
**LEGEND**

- EXISTING PROPERTY LINE
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED STORM PIPE
- EXISTING STORM PIPE
- DRAINAGE BASIN
- PROPOSED CATCH BASIN
- PROPOSED SEDIMENT MANHOLE
- PROPOSED DRYWELL
- PROPOSED FINISH GRADE ELEVATION



**GRADING & DRAINAGE PLAN**  
SCALE: 1"=20'

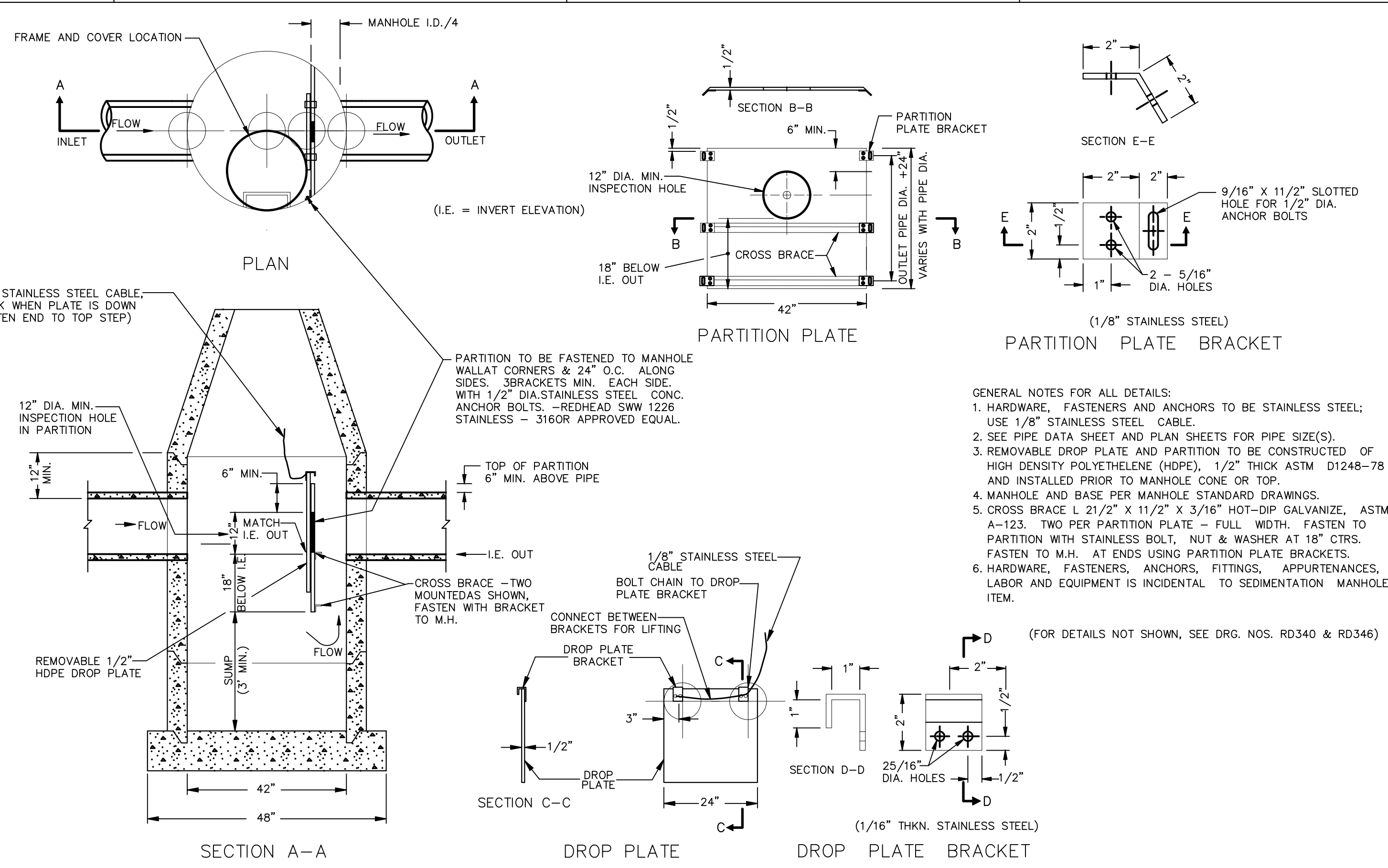




**TYPE II DRYWELL DETAIL**  
N.T.S.

1  
C6.0

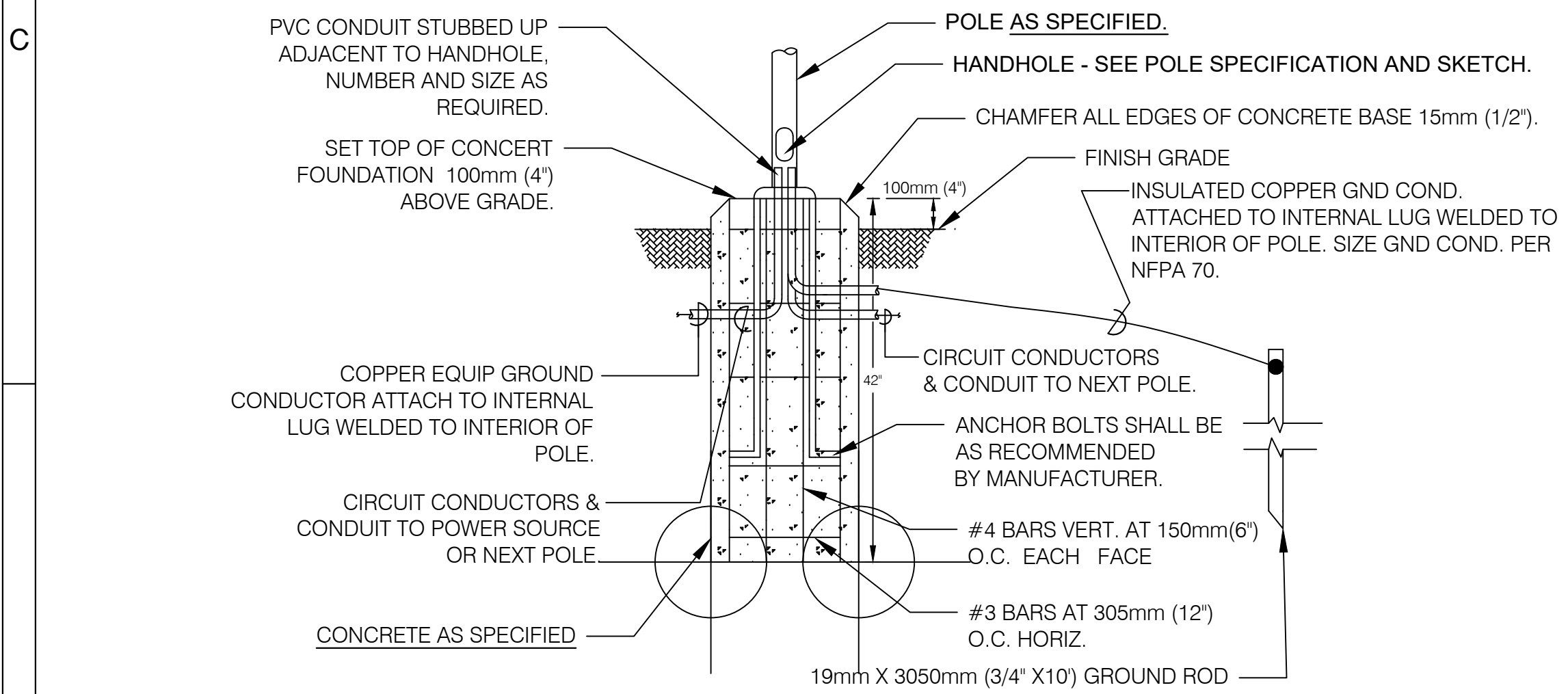
- GENERAL NOTES FOR ALL DETAILS:
- FOR STORM SEWER PIPE MATERIALS, SIZES, SLOPES & LOCATIONS, SEE PLAN SHEETS AND PIPE DATA SHEETS.
  - ALL PRECAST SECTIONS SHALL CONFORM TO REQUIREMENTS OF ASTM C478.
  - SEEPAGE PORT SIZE AND LOCATION VARY BY MANUFACTURER. CONSTRUCT PRECAST OR CAST-IN-PLACE CONCRETE SLAB. CONNECT INLET PIPE TO STRUCTURE USING PRECAST HOLE OR CORE DRILLED HOLE.
  - ALL CONNECTING PIPES SHALL HAVE A TRACER WIRE, OR APPROVED ALTERNATE.



**SEDIMENTATION MANHOLE DETAIL**  
N.T.S.

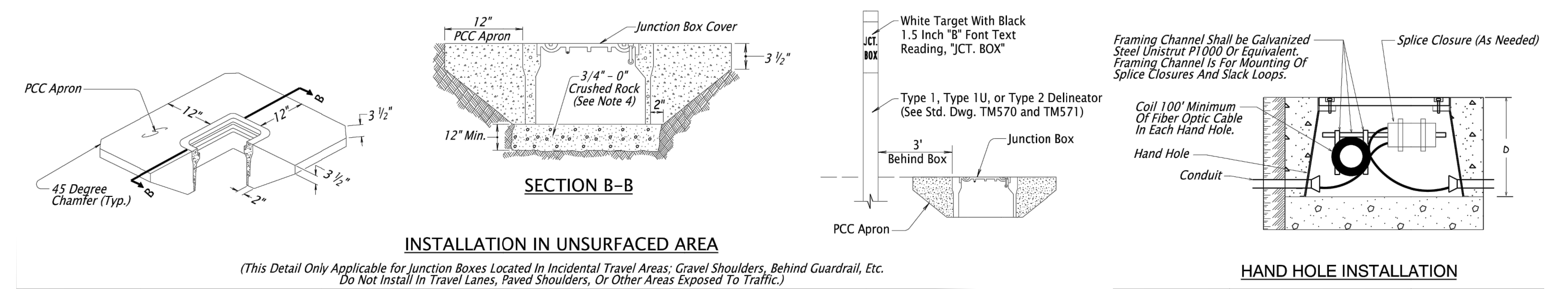
2  
C6.0

- GENERAL NOTES FOR ALL DETAILS:
- HARDWARE, FASTENERS AND ANCHORS TO BE STAINLESS STEEL; USE 1/8" STAINLESS STEEL CABLE.
  - SEE PIPE DATA SHEET AND PLAN SHEETS FOR PIPE SIZE(S).
  - REMOVABLE DROP PLATE AND PARTITION TO BE CONSTRUCTED OF HIGH DENSITY POLYETHYLENE (HDPE), 1/2" THICK ASTM D1248-78 AND INSTALLED PRIOR TO MANHOLE CONE OR TOP.
  - MANHOLE AND BASE PER MANHOLE STANDARD DRAWINGS.
  - CROSS BRACE L 21/2" X 11/2" X 3/16" HOT-DIP GALVANIZE, ASTM A-123. TWO PER PARTITION PLATE - FULL WIDTH. FASTEN TO PARTITION WITH STAINLESS BOLT, NUT & WASHER AT 18" CTRS. FASTEN TO M.H. AT ENDS USING PARTITION PLATE BRACKETS.
  - HARDWARE, FASTENERS, ANCHORS, FITTINGS, APPURTENANCES, LABOR AND EQUIPMENT IS INCIDENTAL TO SEDIMENTATION MANHOLE ITEM.



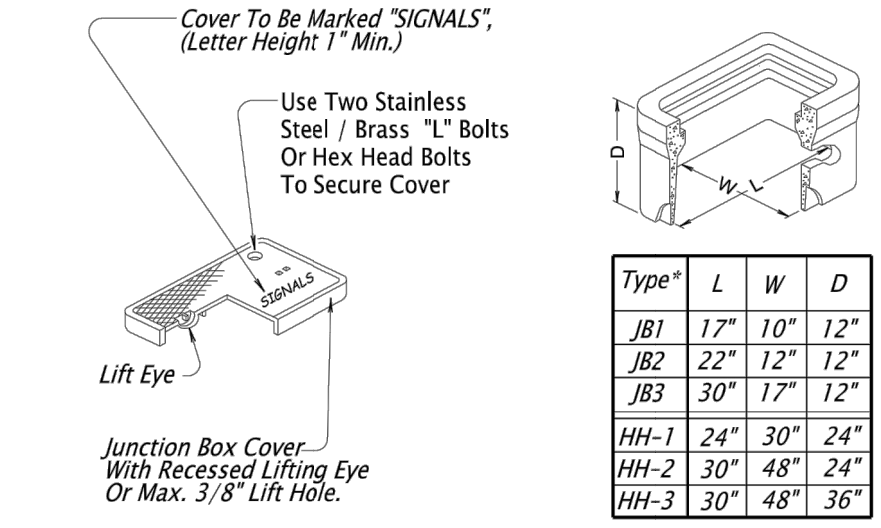
**ILLUMINATION POLE BASE DETAIL**  
N.T.S.

3  
C6.0



**INSTALLATION IN UNSURFACED AREA**  
*(This Detail Only Applicable for Junction Boxes Located In Incidental Travel Areas; Gravel Shoulders, Behind Guardrail, Etc. Do Not Install In Travel Lanes, Paved Shoulders, Or Other Areas Exposed To Traffic.)*

**HAND HOLE INSTALLATION**



**JUNCTION BOX COVER DETAILS**

**DIMENSION TABLE**

Type*	L	W	D
JB1	17"	10"	12"
JB2	22"	12"	12"
JB3	30"	17"	12"
HH-1	24"	30"	24"
HH-2	30"	48"	24"
HH-3	30"	48"	36"

\*Junction Box Or Handhole Type As Shown On Plans

- GENERAL NOTES:
- Install Top of Junction Box Flush With The Sidewalk, Surrounding Grade, Or Top Of Curb
  - Install Junction Boxes At The Approximate Locations Shown, Or If Not Shown, No More Than 300 Feet Apart
  - More Junction Boxes Than Specified May Be Installed To Facilitate The Work At The Option And Cost Of The Contractor
  - Use Materials According To 00640.10 and 00640.16. Use Compaction Equipment Suitable For Area And Compact Each Six Inch Layer With Sufficient Coverages To Produce A Firm Unyielding Surface.

**ODOT LIGHT POST JUNCTION BOX**  
N.T.S.

4  
C4.1

CALC. BOOK NO. ... N/A

BASLINE REPORT DATE ... 2-Jan-2020

NOTE: All material and workmanship shall be in accordance with the current Oregon Standard Specifications.

**OREGON STANDARD DRAWINGS**

**TRAFFIC SIGNAL JUNCTION BOXES/ HAND HOLES**

2018

DATE	REVISION DESCRIPTION
07/18	Added A New Detail & Notes, Revised & Simplified Details
01/20	Added General Note 4

The selection and use of this Standard Drawing, while designed in accordance with generally accepted engineering principles and practices, is the sole responsibility of the user and should not be used without consulting a Registered Professional Engineer.



4TH ST TRANSIT CENTER  
LA PINE, OR  
DETAILS SHEET  
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www.beconeng.com

**BECON**

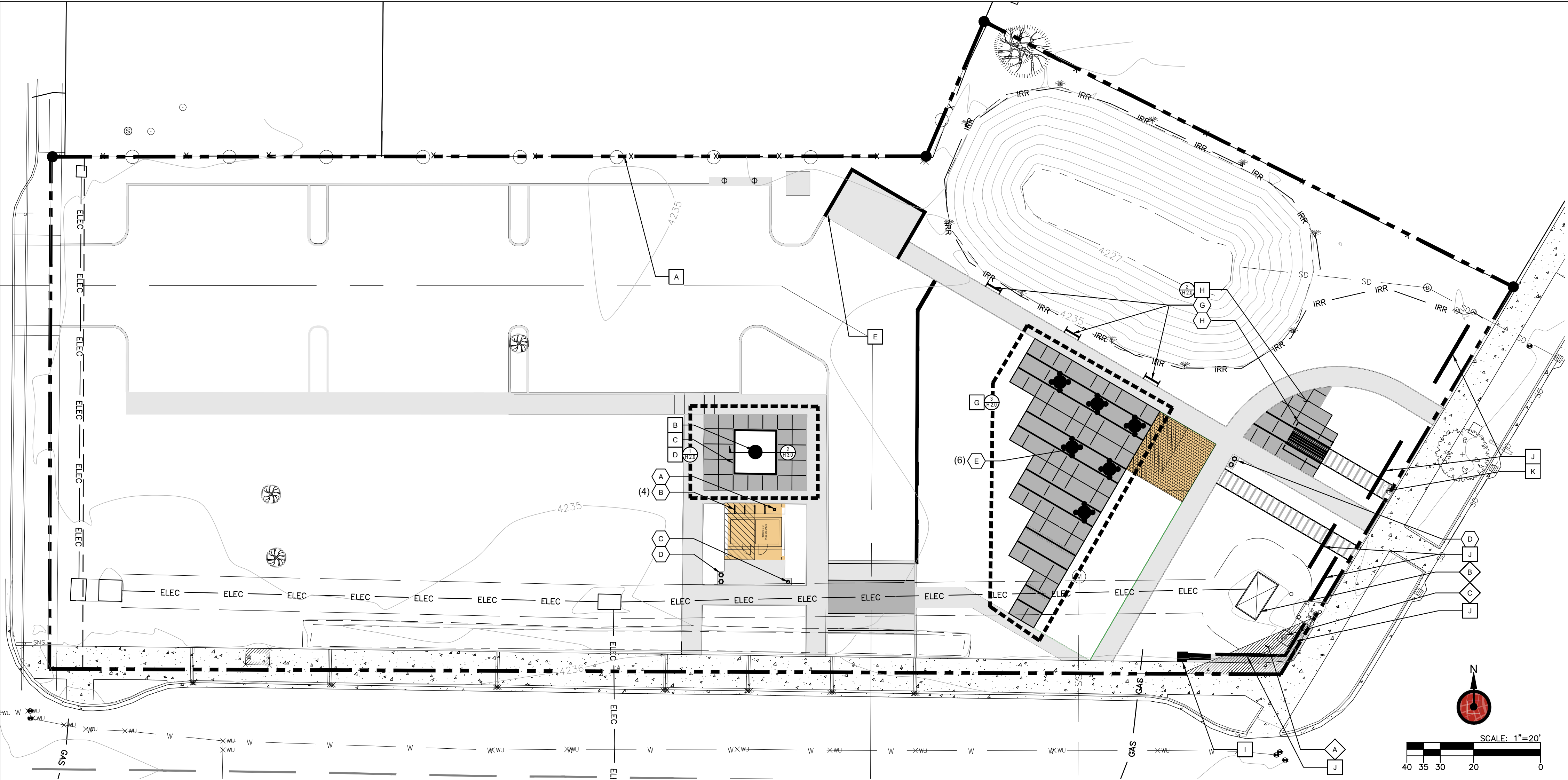
DESIGNED BY: AKP  
DRAWN BY: CWA  
SCALE: NTS  
FILE: 13744-65  
DATE: 12/02/2020

VERIFY SCALES  
0 1"  
BAR EQUALS ONE INCH ON ORIGINAL DRAWING

SHEET: C6.0  
7 OF 7

FILE# 13744-65

ANSI D (34.00 X 22.00 inches)



**GENERAL NOTES**

1. CONTRACTOR SHALL OBTAIN SITE SIGN PERMIT FROM CITY OF LA PINE.
2. CONTRACTOR SHALL PROVIDE STRUCTURALLY ENGINEERED SHOP DRAWINGS FOR ALL SIGNAGE AND WALL STRUCTURAL ELEMENTS, INCLUDING, BUT NOT LIMITED TO, CONCRETE FOOTINGS, STEEL REINFORCING AND FASTENER SIZING.
3. UTILITIES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING UTILITIES. ANY DAMAGE CAUSED BY THE CONTRACTOR SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
4. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING ROADWAYS, WALKS, CURB AND GUTTERS, UTILITIES AND VEGETATION. ANY DAMAGE CAUSED BY THE CONTRACTOR SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
5. ELECTRICAL ENGINEERING AND ROUTING SHALL BE DESIGN-BUILT BY CONTRACTOR
6. CONTRACTOR SHALL VISIT THE SITE TO INSPECT AND VERIFY THE EXTENT OF DEMOLITION, EXISTING CONNECTION POINTS FOR ELECTRICAL POWER, AND EXISTING SITE CONDITIONS.
7. CONTRACTOR SHALL FIELD STAKE ALL SITE IMPROVEMENTS AND RECEIVE OWNER OR LANDSCAPE ARCHITECT APPROVAL OF STAKED LOCATION PRIOR TO START OF INSTALLATION.
8. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. ANY DEVIATION FROM DRAWINGS MUST BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

PRELIMINARY



541.241.6134 WWW.LOCI.STUDIO

**LA PINE STATION  
HARDSCAPE AND AMENITIES  
PLAN**

**AMENITY SCHEDULE**

KEY	QTY	ITEM	SPECIFICATION	DETAIL
A	1	BIKE FIX-IT STATION	DERO FIX-IT STATION AND AIR KIT, PHONE.(888) 337-6729	
B	4	BIKE RACK	INVERTED U, POWDER COATED BROWN	3/H 3.0
C	1	DRINKING FOUNTAIN	MOST DEPENDABLE FOUNTAINS, MODEL 440 SMSS, BROWN, PHONE: 901-867-0039	
D	2	TRASH RECEPTACLE	TO BE INSTALLED BY OTHERS	
E	6	PICNIC TABLE	TO BE INSTALLED BY OTHERS	
F				
G	3	AXLE SEAT	TO BE RESTORED BY OTHERS	
H	1	LUNCH CART	TO BE RESTORED BY OTHERS	

**HARDSCAPE KEY**

KEY	ITEM	DETAIL
A	FENCE	1/H 3.0
B	ART PLINTH IN RAISED PLANTER	2/H 3.0
C	CONCRETE SEAT WALL	2/H 3.0
D	PAVING AREA A	1/H 2.0
E	TRASH ENCLOSURE	4/H 3.0
F		3/H 2.0
G	PAVING AREA C	3/H 2.0
H	PAVING AREA D	2/H 2.0
I	SITE SIGNAGE	7/H 3.0
J	SITE WALL	6/H 3.0
K	RAIL AND TIES IN SOFTSCAPE	5/H 3.0

**NOTES**

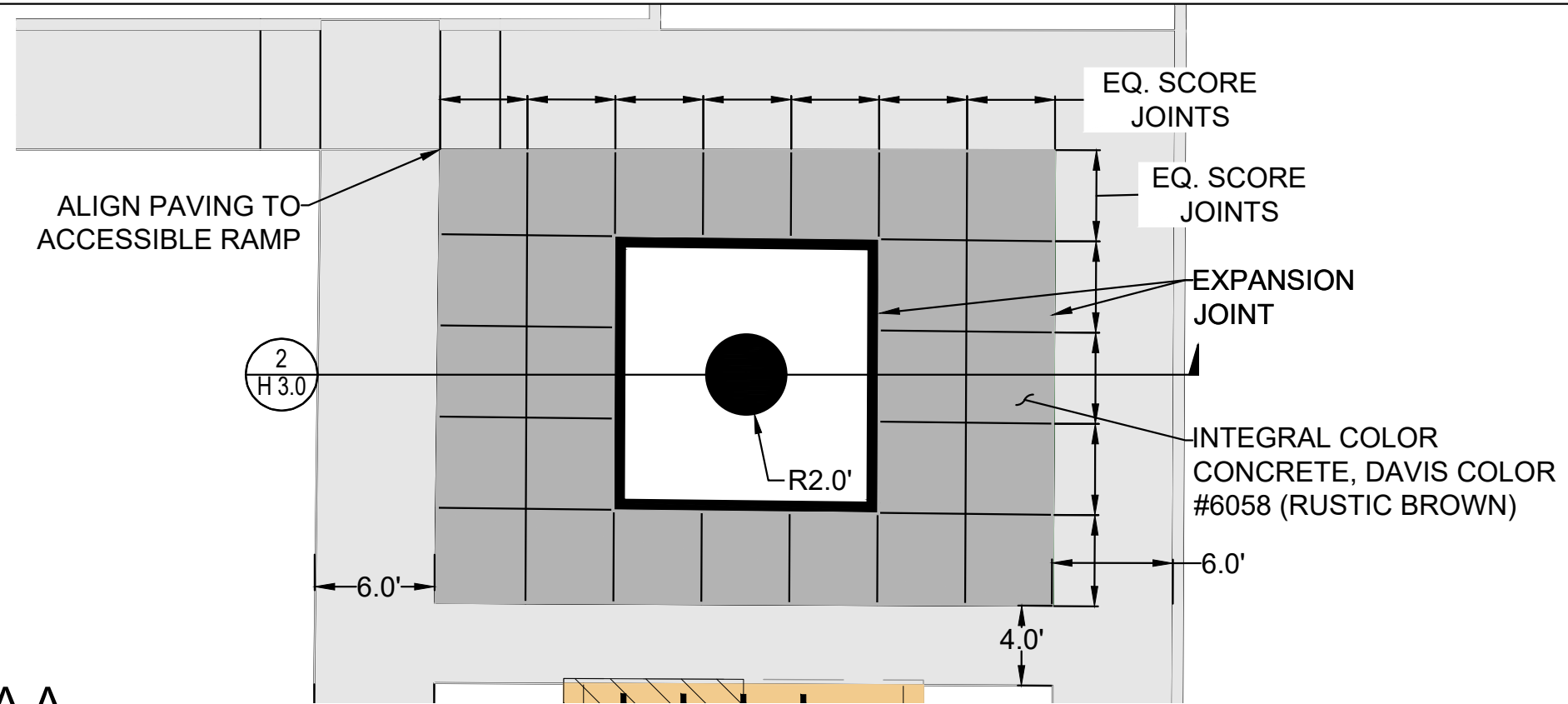
KEY	NOTES
A	CLEAR VISION AREA
B	EXISTING POWER VAULT - MAINTAIN 10' CLEAR ZONE WITH ALL VERTICAL ELEMENTS
C	EXISTING IRRIGATION CABINET - REMOVE EXISTING IRRIGATION PEDESTAL AND AFFIX IRRIGATION CABINET ON BACK OF SITE WALL

PLOT DATE:	7/14/20	REVISION	
DRAWN BY:	CJS	DESCRIPTION	
CHECKED BY:		#	
DATE			

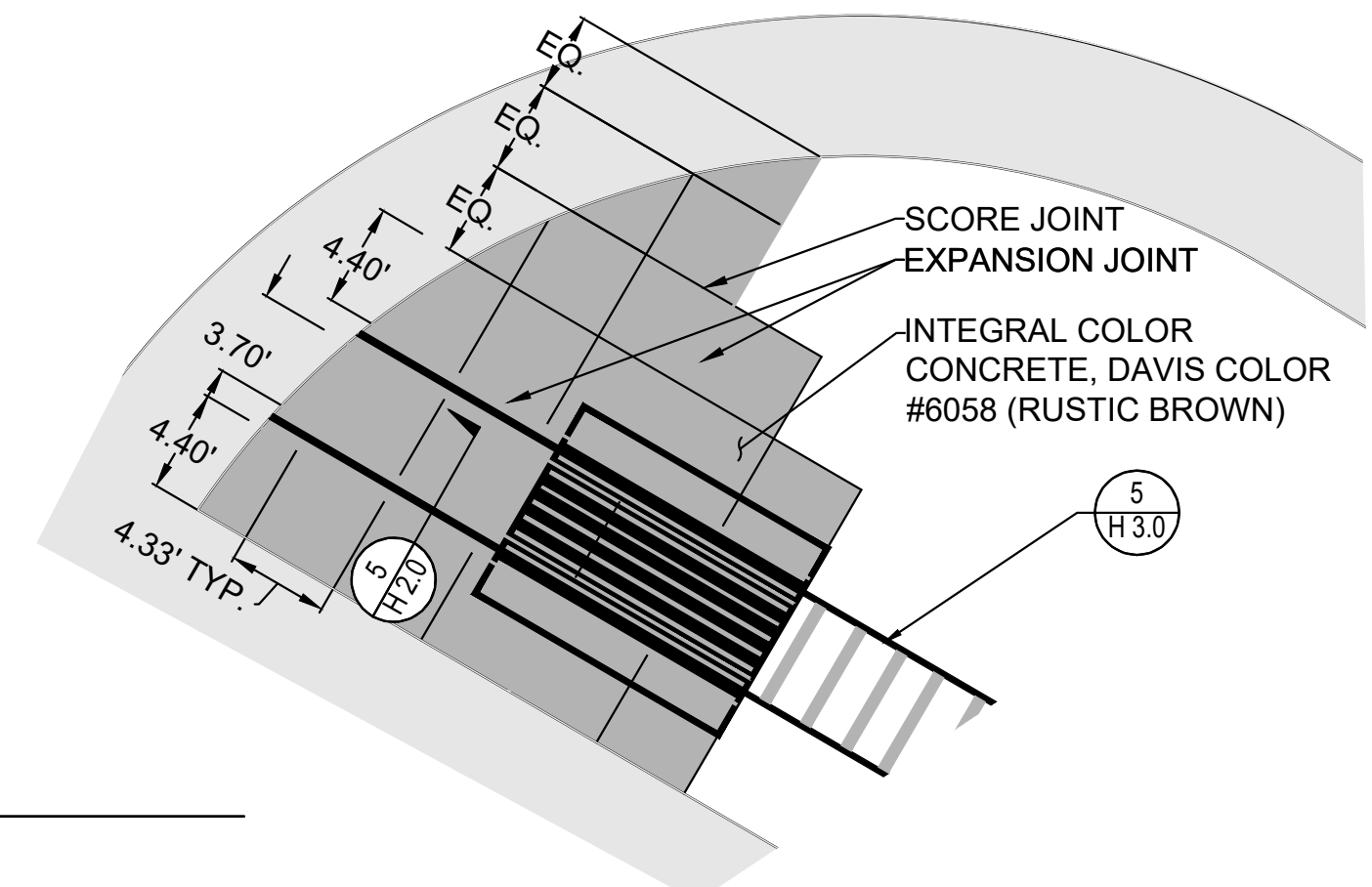
**HARDSCAPE PLAN**

**H 1.0**

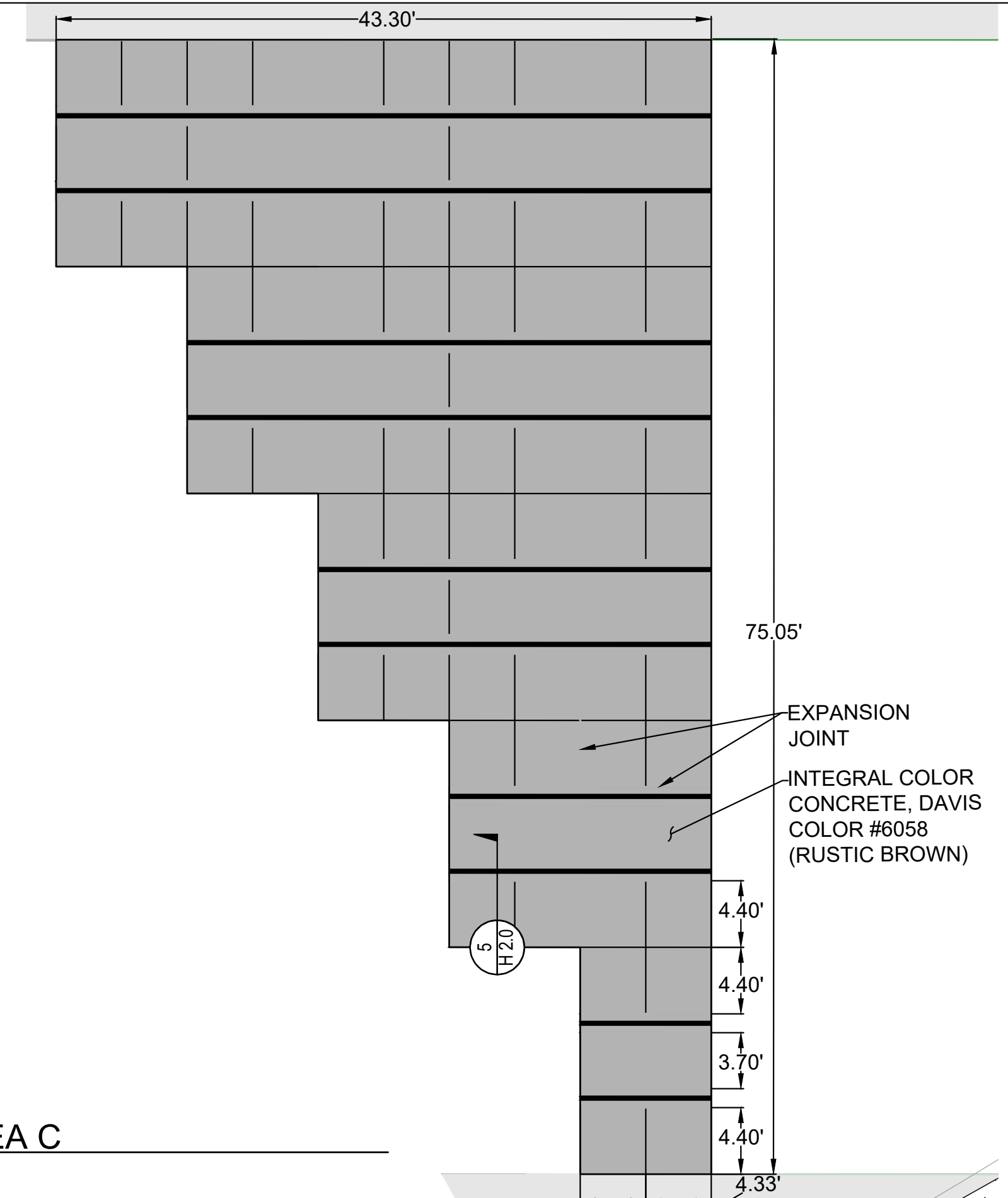
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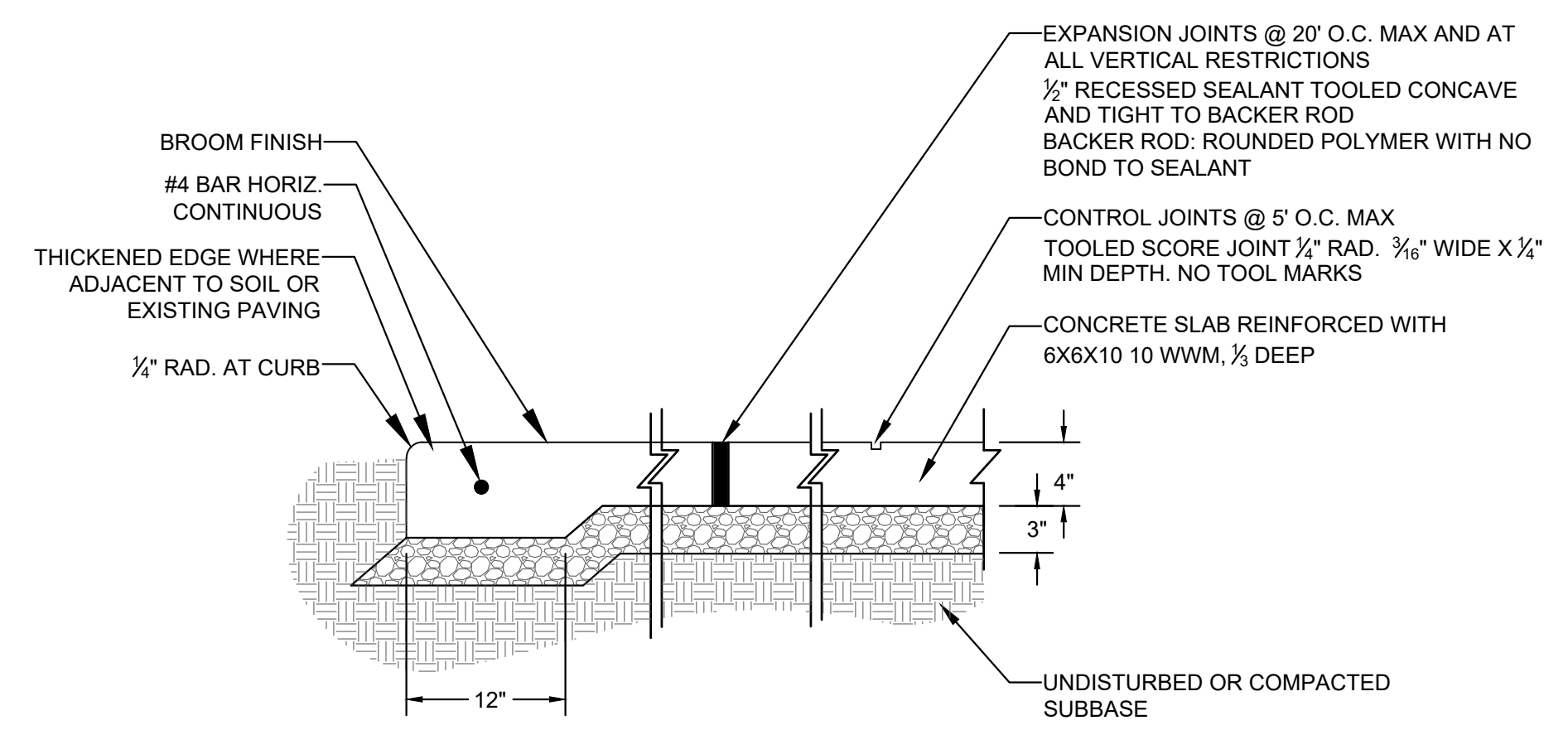
1 PAVING AREA A



2 PAVING AREA D

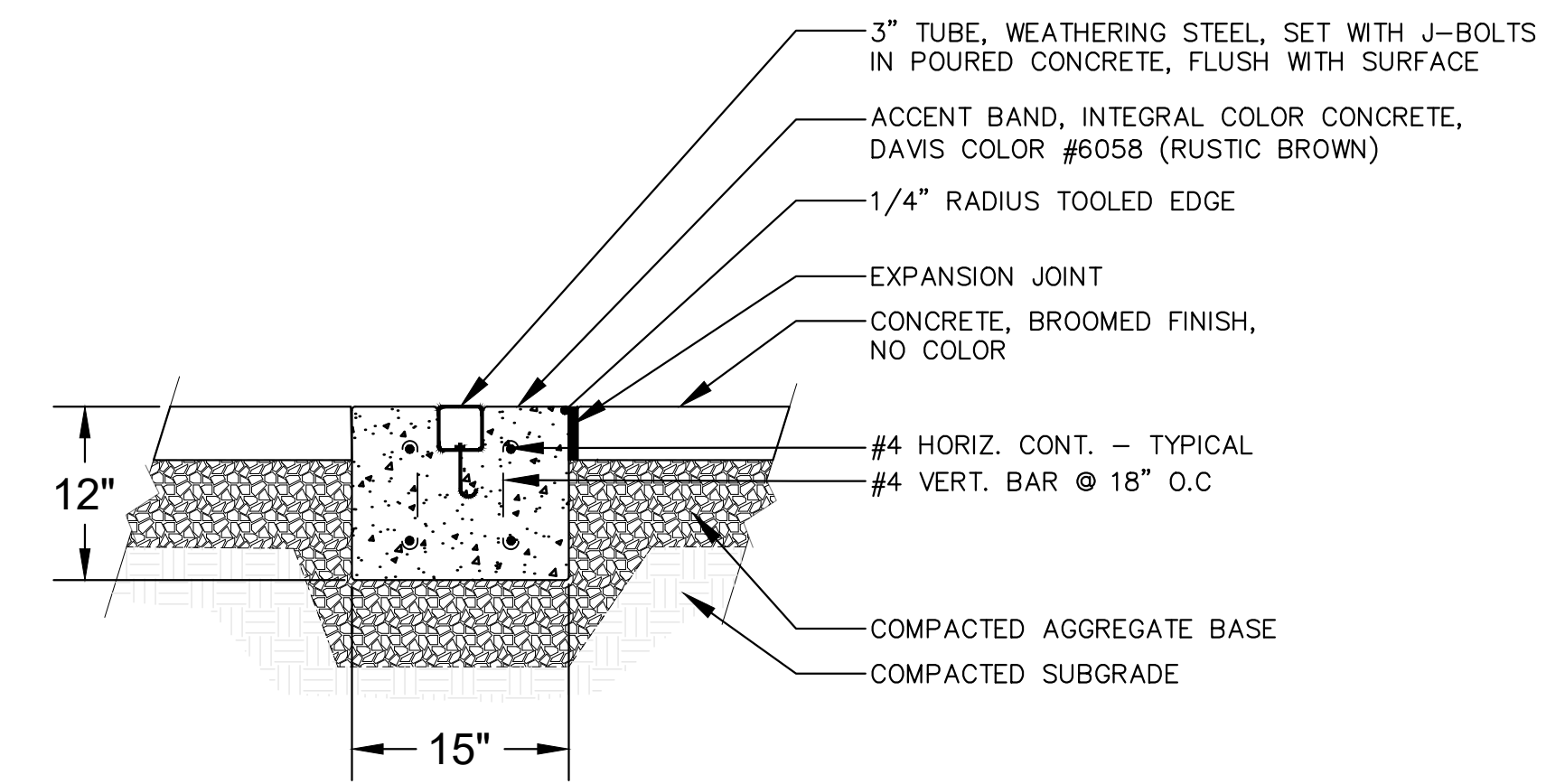


3 PAVING AREA C



NOTES:  
1. PROVIDE EXPANSION JOINT AS INDICATED  
2. PROVIDE 1 1/2" MIN. DEEP TOOLED SCORE JOINT @ AS INDICATED 4' O.C. MAX. SCORE JOINT TO HAVE 1/4" RADIUS TOOLED EDGE

4 CONCRETE JOINTS



5 ACCENT BAND IN CONCRETE

PRELIMINARY



541.241.6134 WWW.LOCI.STUDIO

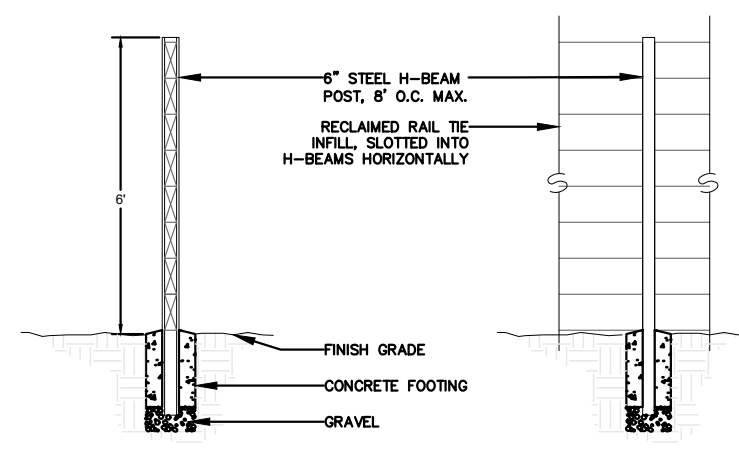
LA PINE STATION  
HARDSCAPE DETAIL PLANS

PLOT DATE:	7/14/20	REVISION	
DRAWN BY:	CJS	DESCRIPTION	
CHECKED BY:		#	
DATE			

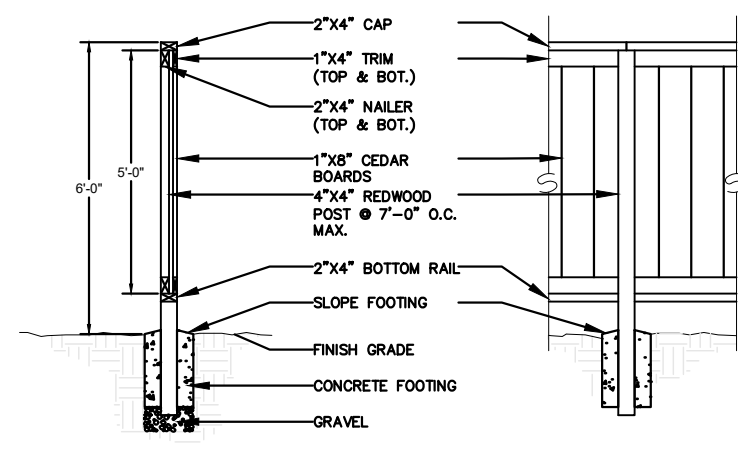
HARDSCAPE  
DETAILS

H 2.0

ANSI D (34.00 x 22.00 inches)



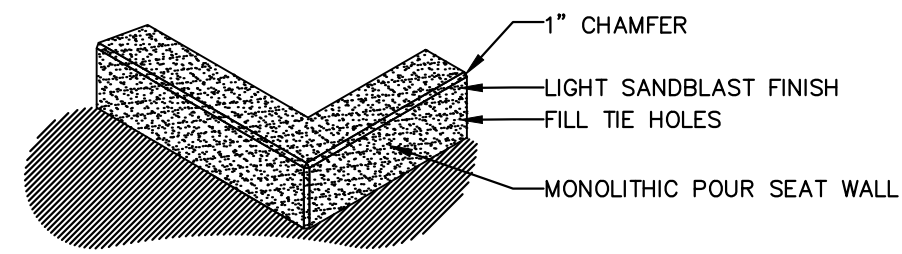
ALTERNATE A - RAIL TIE FENCE



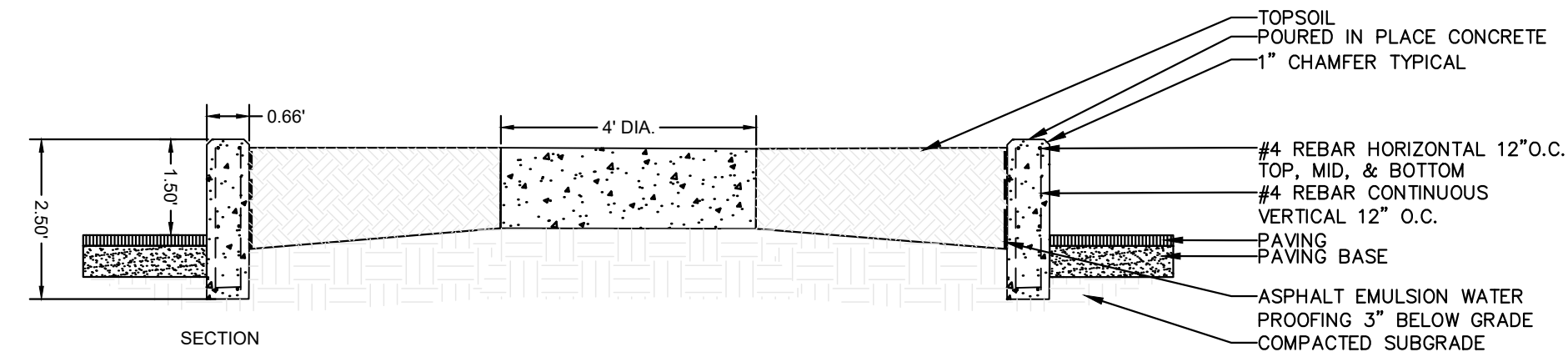
ALTERNATE B - CEDAR VERTICAL BOARD FENCE

NOTES:  
 1. STAIN FENCE TO MATCH SITE SIGN  
 2. WOOD TO BE CEDAR, ROUGH SAWN, SELECT CONSTRUCTION, UNLESS OTHERWISE NOTED.

1  
H 3.0 FENCE

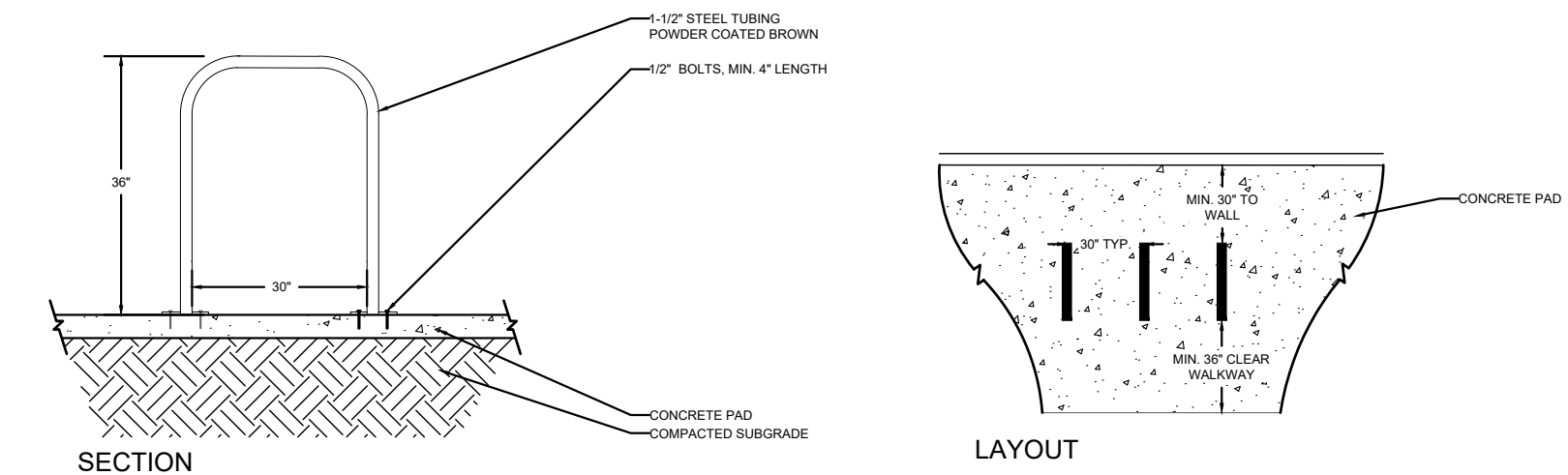


AXOMETRIC SEAT WALL CORNER TREATMENT



SECTION

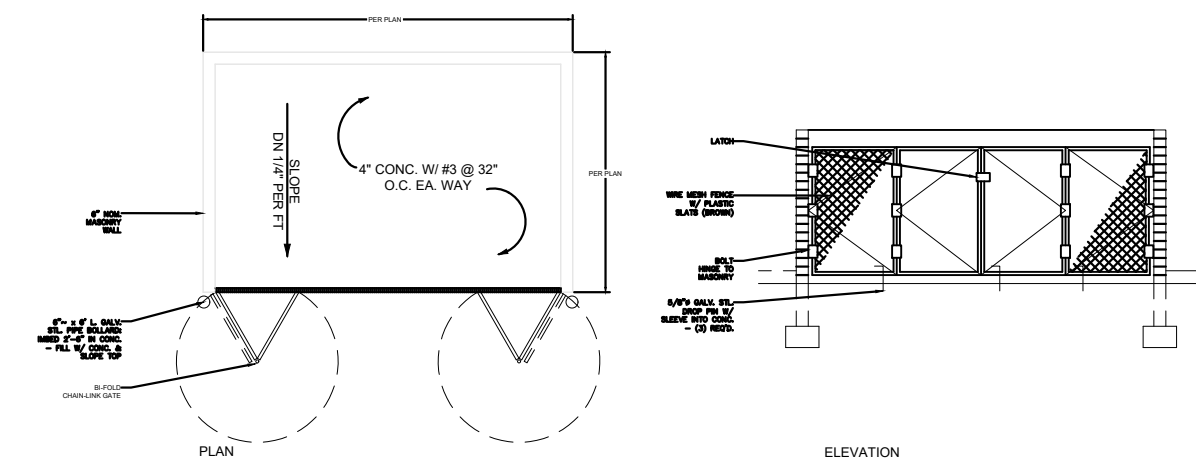
2  
H 3.0 ART PLINTH AND PLANTER WITH SEAT WALL



SECTION

LAYOUT

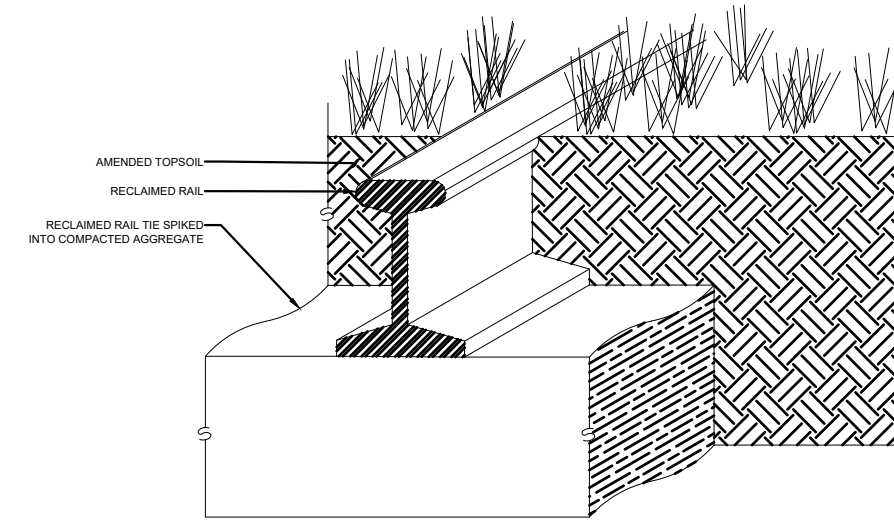
3  
H 3.0 BIKE RACK INSTALLATION



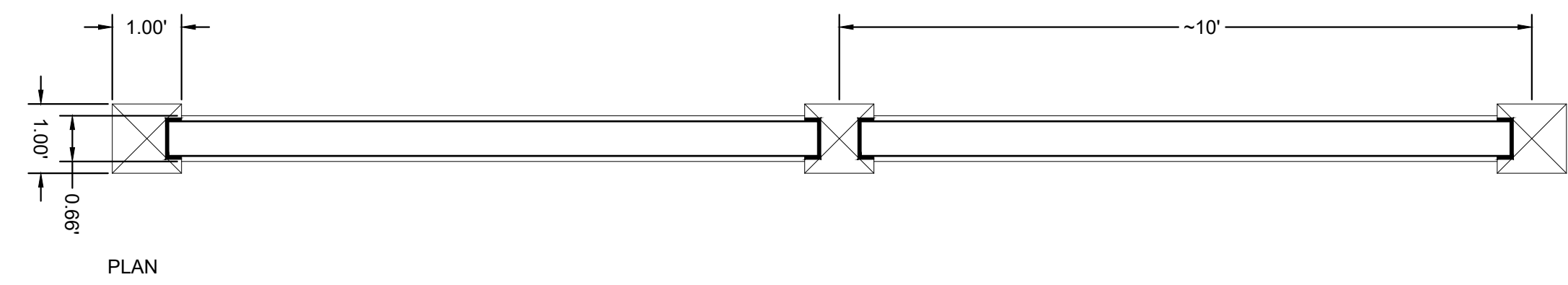
PLAN

ELEVATION

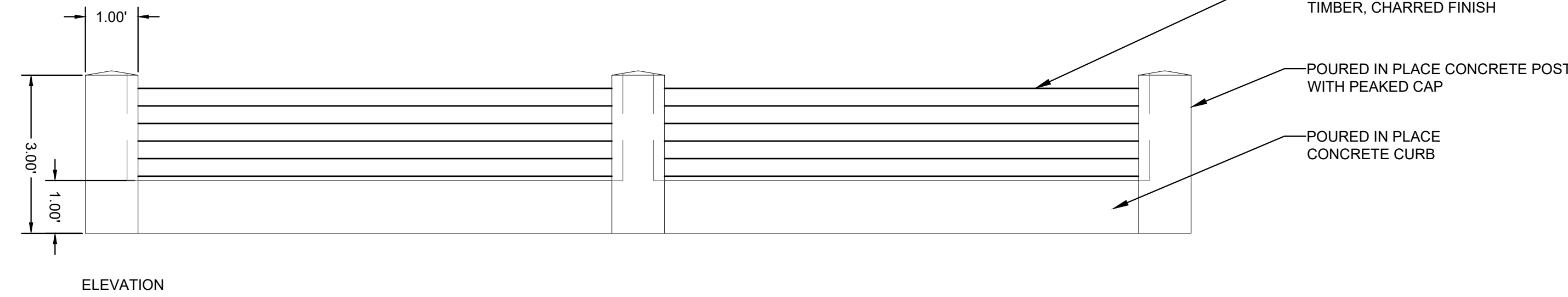
4  
H 3.0 TRASH ENCLOSURE



5  
H 3.0 RAIL AND TIES IN SOFTSCAPE

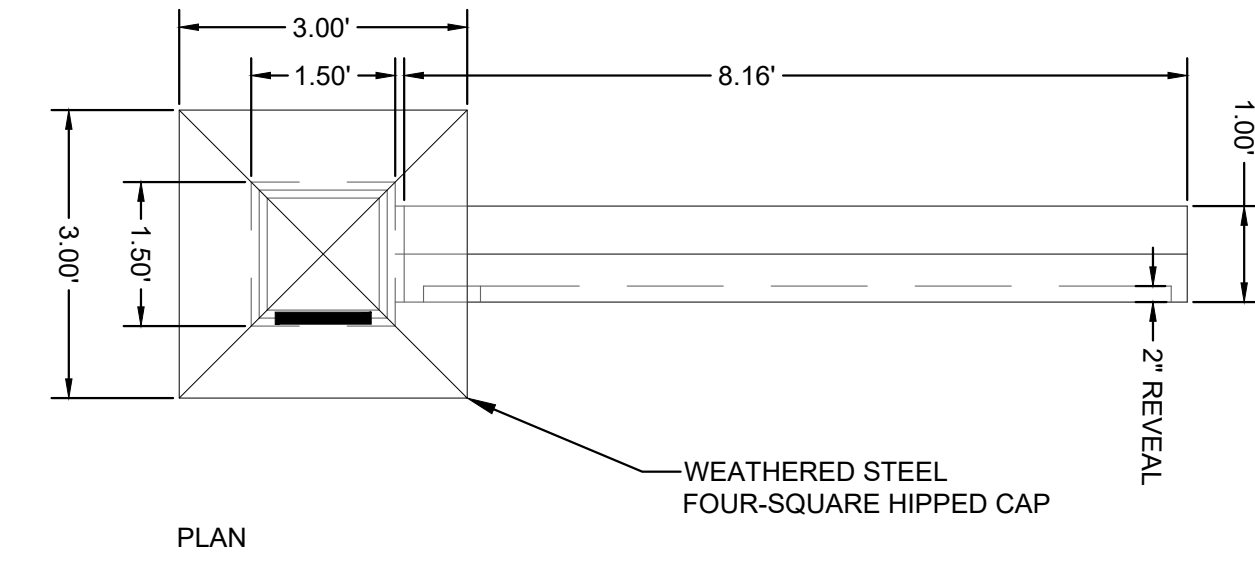


PLAN

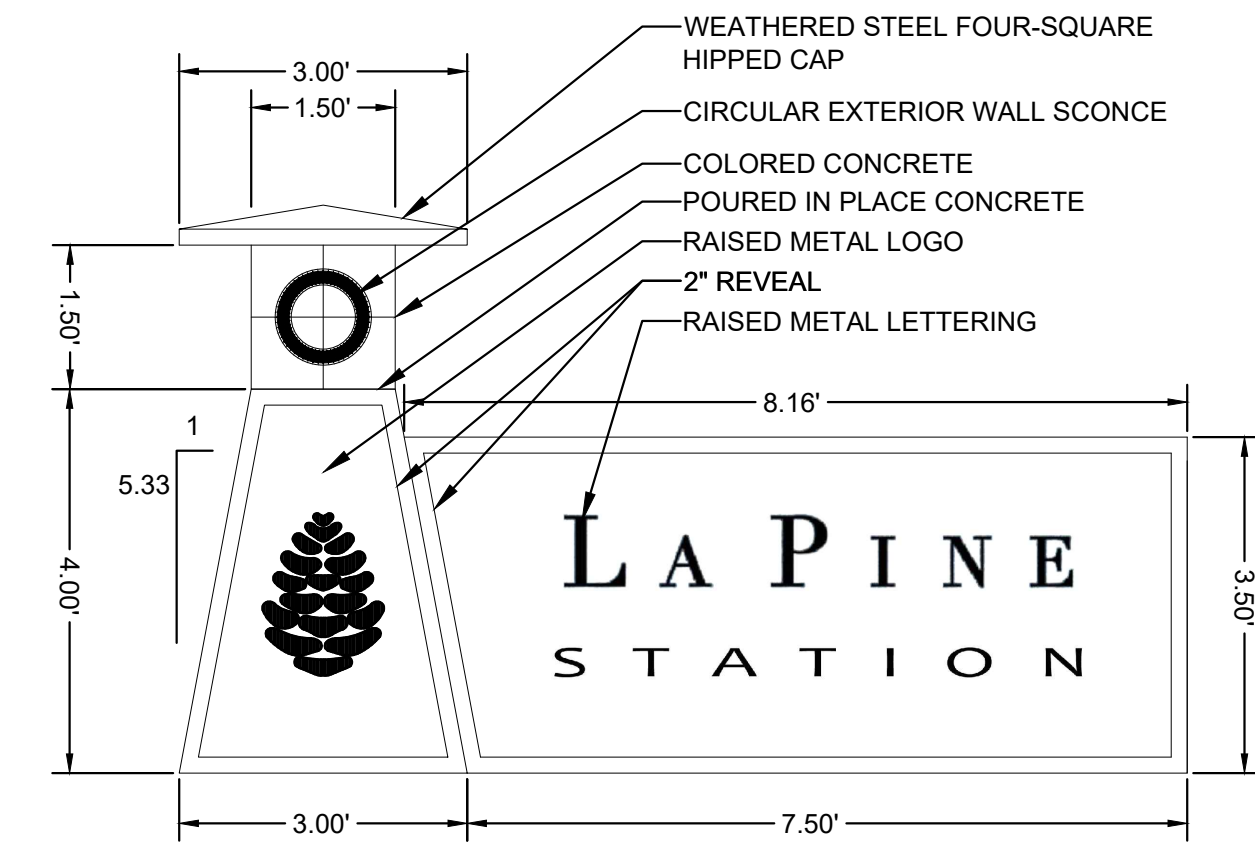


ELEVATION

6  
H 3.0 SITE WALL



PLAN



7  
H 3.0 SITE SIGNAGE

PRELIMINARY



541.241.6134 WWW.LOCI.STUDIO

LA PINE STATION  
 HARDSCAPE AND AMENITIES  
 DETAILS

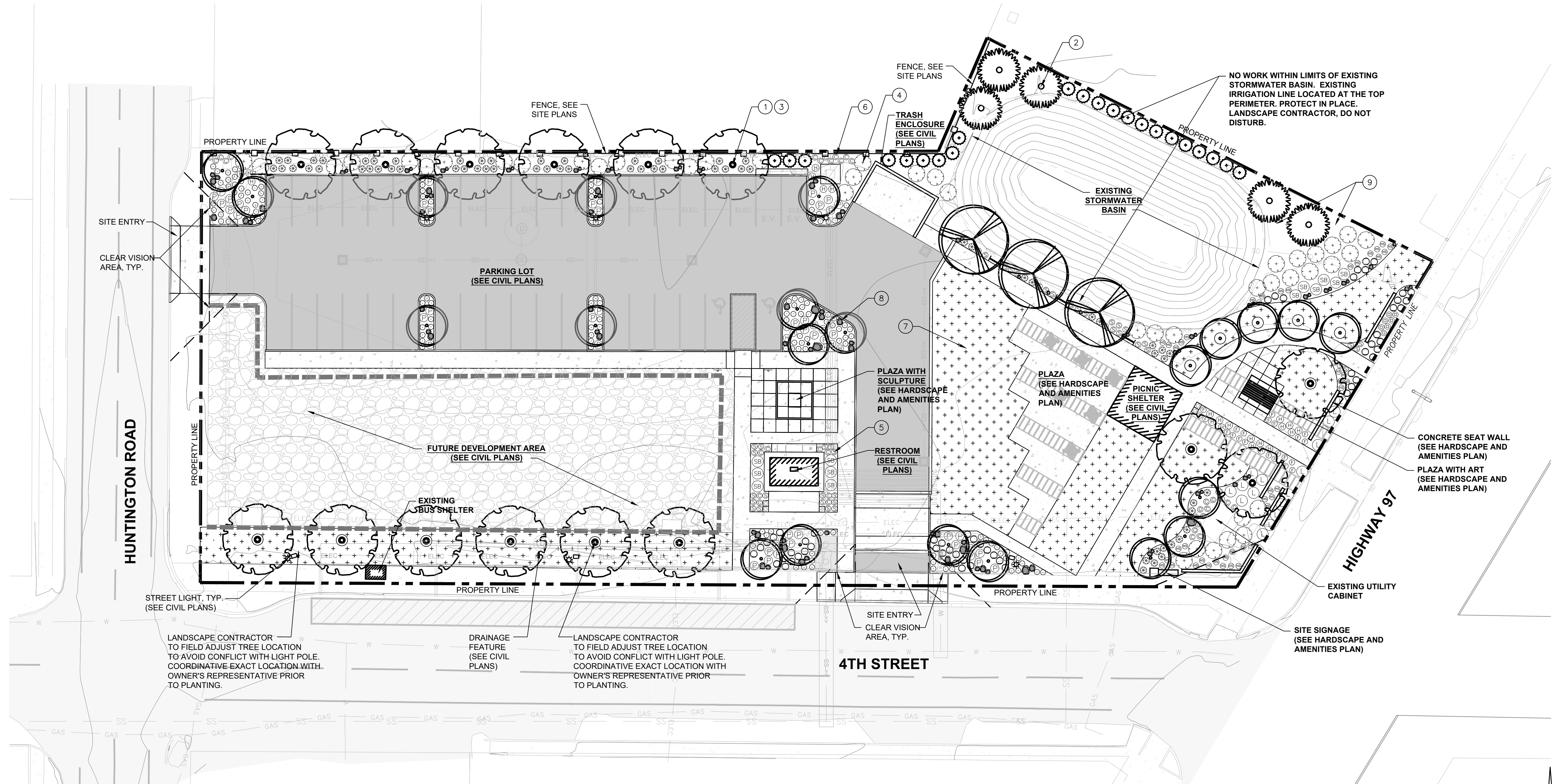
PLOT DATE:	7/14/20	REVISION
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DATE	#	

HARDSCAPE  
 DETAILS

H 3.0

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P:\188 BEC LA PINE TRANSIT CENTER\BEC188-DWG\SHEETS\BEC188-L1.0 LANDSCAPE PLAN.dwg



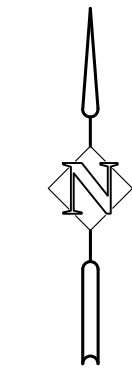
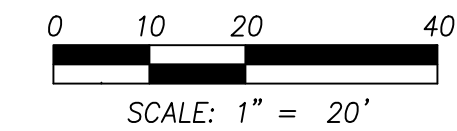
**PLANTING PLAN**

**PLANTING GENERAL NOTES**

**FOR PLANTING GENERAL NOTES, SEE SHEET L1.1.**

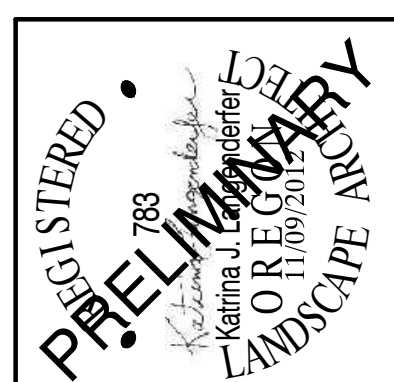
**SHEET NOTES**

- ① INSTALL CONIFER TREE SPECIES AT LOCATIONS SHOWN. SEE DETAILS 1 AND 6, SHEET L1.2 AND PLANT AND MATERIALS SCHEDULE, SHEET L1.1.
- ② INSTALL DECIDUOUS TREE SPECIES AT LOCATIONS SHOWN. SEE DETAILS 2 AND 6, SHEET L1.2 AND PLANT AND MATERIALS SCHEDULE, SHEET L1.1.
- ③ INSTALL ROOT BARRIER FOR ALL NEW TREES ADJACENT TO SIDEWALKS AND CURBS. SEE DETAIL 7, SHEET L1.1.
- ④ INSTALL SHRUB SPECIES AT LOCATIONS SHOWN. SEE DETAIL 3, SHEET L1.2 AND PLANT AND MATERIALS SCHEDULE, SHEET L1.1.
- ⑤ INSTALL PERENNIAL SPECIES AT LOCATIONS SHOWN. SEE DETAIL 4 AND 5, SHEET L1.2 AND PLANT AND MATERIALS SCHEDULE, SHEET L1.1.
- ⑥ INSTALL ORNAMENTAL GRASS SPECIES AT LOCATION SHOWN. SEE DETAIL 4 AND 5, SHEET L1.2 AND PLANT AND MATERIALS SCHEDULE, SHEET L1.1.
- ⑦ INSTALL SOD AT LOCATIONS SHOWN, SEE PLANT AND MATERIALS SCHEDULE, SHEET L1.1.
- ⑧ INSTALL LANDSCAPE BOULDERS AT LOCATIONS SHOWN. SEE DETAIL 8, SHEET L1.2 AND PLANTING LEGEND, SHEET L1.1.
- ⑨ INSTALL 3" DEPTH LAYER OF COMPOST MULCH.



**PLANTING PLAN**  
**4TH STREET TRANSIT CENTER**  
 LA PINE, OR

**KATRINA LANGENDERFER**  
 LANDSCAPE ARCHITECTURE  
KLandscape.com  
 405.977.1414  
 11/09/2017



DESIGNED:	KJL	DATE:	9.27.2020
DRAWN:	KJL	CHECKED:	MS

NO.	DATE	DESCRIPTION

SHEET NO. **L1.0**  
 JOB NO. BEC158

**DRAFT BID SET - NOT FOR CONSTRUCTION**

**PLANT AND MATERIALS SCHEDULE**

TYPE	LATIN NAME / COMMON NAME	SIZE	CONDITION	SPACING	QUANTITY	NOTE
<b>TREES</b>						
	Acer rubrum 'October Glory' / Acer Rubrum 'PNI 0268'	2-1/2" CAL.	B & B	AS SHOWN	15	
	Fraxinus pennsylvanica 'Summit' / Summit Green Ash	2-1/2" CAL.	B & B	AS SHOWN	3	
	Juniperus virginiana 'Idylwild' / Idylwild Juniper	8'-10' HT.	B & B	AS SHOWN	22	
	Picea pungens 'Moerheim' / Moerheim Blue Spruce	8'-10' HT.	B & B	AS SHOWN	5	
	Pyrus calleryana 'Glen's Form' / Chanticleer Pear	2-1/2" CAL.	B & B	AS SHOWN	22	
<b>SHRUBS</b>						
	Berberis thunbergii 'Crimzum' / Crimson Ruby Japanese Barberry	2 GAL.	CONTAINER	AS SHOWN	134	
	Physocarpus opulifolius 'Center Glow' / Center Glow Ninebark	5 GAL.	CONTAINER	AS SHOWN	44	
	Potentilla fruticosa 'Abbotswood' / Abbotswood Potentilla	3 GAL.	CONTAINER	AS SHOWN	49	
	Spirea x bumalda 'Goldflame' / Goldflame Spirea	3 GAL.	CONTAINER	AS SHOWN	12	
	Spirea japonica 'Yan' / Double Play Gold Spirea	3 GAL.	CONTAINER	AS SHOWN	68	
<b>PERENNIALS</b>						
	Achillea x 'Moonshine' / Moonshine Yarrow	1 GAL.	CONTAINER	AS SHOWN	7	
	Chrysanthemum x superbum 'Snowcap' (Leucanthemum) / Snowcap Shasta Daisy	1 GAL.	CONTAINER	AS SHOWN	16	
	Hemerocallis x 'Stella de Oro' / Stella De Oro Dwarf Daylily	1 GAL.	CONTAINER	TRIANGULAR	28	
	Nepeta x faassenii 'Walker's Low' / Walker's Low Catmint	1 GAL.	CONTAINER	AS SHOWN	56	
	Sedum spectabile 'Autumn Joy' / Autumn Joy Sedum	1 GAL.	CONTAINER	AS SHOWN	43	
<b>GRASSES</b>						
	Calamagrostis x acutiflora 'Karl Forester' / Karl Forester Feather Reed Grass	2 GAL.	CONTAINER	AS SHOWN	34	
	Festuca glauca 'Boulder Blue' / Boulder Blue Fescue	1 GAL.	CONTAINER	TRIANGULAR	22	
	Helictotritichon sempervirens/ Blue Oat Grass	2 GAL.	CONTAINER	AS SHOWN	45	
<b>SOD</b>						
	<b>SOD - LAWN AREAS</b>  SOD AREA = 8,885 SF  CENTRAL OREGON 3-WAY BLEND, SUPPLIED BY LOWER VALLEY TURF, TERREBONNE, OREGON. SOD COMPOSITION SHALL BE A BLEND OF KENTUCKY BLUEGRASS, PERENNIAL RYE AND NON-CREEPING FINE FESCUE. SOD SHALL BE SUPPLIED IN 30" ROLLS AND BE REGIONALLY ACCLIMATIZED.					
<b>OTHER</b>						
	<b>LANDSCAPE BOULDER</b> MATERIAL: CENTRAL OREGON MOSSY COVERED NATIVE LANDSCAPE BOULDERS (SIZE MIXTURE TO VARY), 1'L x 1'W x 1'H UP TO 3'L x 3'W x 3'H IN SIZE. COORDINATE PLACEMENT WITH OWNER'S REPRESENTATIVE.					

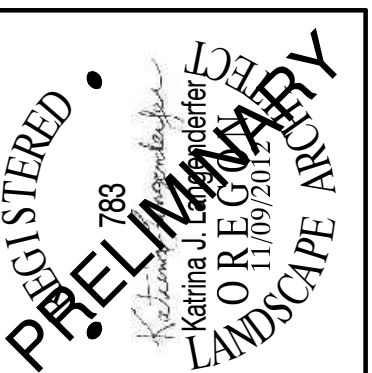
**NOTE:**  
LOCATE AND FLAG ALL EXISTING TREES, SHRUBS, GRASSES AND PERENNIALS TO BE PROTECTED IN PLACE IN THE FIELD WITH THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK. PROVIDE PROTECTION BARRIER AT DRIP LINE OF TREES AND SHRUBS AND AT BOUNDARIES OF GRASSES AND PERENNIALS.

**PLANTING GENERAL NOTES**

- ALL LANDSCAPE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF LA PINE STANDARDS AND THE STATE OF OREGON BUILDING AND SPECIALITY CODES.
- INSTALL EROSION CONTROL SYSTEMS IN ACCORDANCE WITH CITY OF LA PINE STANDARDS PRIOR TO SITE WORK AND LANDSCAPE INSTALLATION.
- MARK AND PROTECT ALL UTILITIES, SITE FEATURES, AND VEGETATION THAT ARE TO REMAIN IN PLACE. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING SYSTEMS RESULTING FROM WORK UNDER THIS CONTRACT.
- PRIOR TO PLANTING, ON-SITE SOILS SHALL BE TESTED FOR SOIL FERTILITY BY A CERTIFIED TESTING LAB. PLANTING SOILS FOR DISTURBED AREAS, TREE PITS, SHRUB, AND PLUG AREAS SHALL THEN BE AMENDED AS RECOMMENDED BY THE SOIL FERTILITY REPORT RECOMMENDATIONS. TOPSOIL SAVED AND/OR STOCKPILED MAY BE USED IN THE MANUFACTURING OF PLANTING SOIL PER THE RECOMMENDATIONS OF THE SOIL FERTILITY REPORT. ON-SITE SOILS AND TOPSOIL MAY NOT BE USED AS PLANTING SOIL UNLESS AMENDED PER THE SOILS FERTILITY REPORT.
- PRIOR TO PLANTING, EXISTING VEGETATED AREAS TO BE PROTECTED IN PLACE DURING CONSTRUCTION SHALL RECEIVE WEED ABATEMENT BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PRESENT A WRITTEN STRATEGY FOR WEED ABATEMENT TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- EXACT LOCATION OF PLANT MATERIAL SHALL BE REVIEWED BY THE OWNER'S REPRESENTATIVE IN THE FIELD PRIOR TO INSTALLATION. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO ADJUST PLANTS EXACT LOCATION IN THE FIELD.
- ALL PLANTS SHALL BE GROWN IN THIS REGION OR BE LOCALLY ACCLIMATIZED.
- PLANT MATERIAL INSTALLED SHALL CONFORM IN SIZE AND GRADE TO THE "AMERICAN STANDARD FOR NURSERY STOCK" CURRENT EDITION.
- ALL DISTURBED AREAS WITHIN LIMITS OF WORK AND NEW PLANTING BEDS AND PLANTING AREAS SHALL RECEIVE 6" PLANTING SOIL, TILLED INTO THE TOP 12" DEPTH OF EXISTING SOILS. LEGALLY DISPOSE OF ANY EXCESS SUBSOIL OFF-SITE.
- PRIOR TO PLANTING, ALL PLANTING AREAS SHALL BE FINE GRADED AND RECEIVE SOIL PREPARATION.
- FINISH GRADES OF ALL PLANTING AREAS SHALL BE 2" BELOW ADJACENT CURB, PAVEMENT OR FEATURE.
- ALL TOPSOIL SCRAPED DURING CONSTRUCTION MAY BE STOCKPILED ON-SITE FOR REUSE IN ACCORDANCE WITH SOIL TEST RECOMMENDATIONS.
- PLANTS AND CONSTRUCTION MATERIALS SHALL BE REVIEWED, INSPECTED AND APPROVED ON-SITE BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING OR USE ON PROJECT.
- LANDSCAPE INSTALLATION SHALL INCLUDE PROVISION OF AN AUTOMATIC IRRIGATION SYSTEM TO SUSTAIN LANDSCAPE PLANTINGS, MEETING LOCAL CODES.
- LANDSCAPE CONTRACTOR SHALL INSTALL AUTOMATIC IRRIGATION SYSTEM PER IRRIGATION PLANS, DETAILS AND PROJECT SPECIFICATIONS.
- INSTALL 3" LAYER OF COMPOST MULCH TO ALL NON-SODDED PLANTING AREAS AND NON-PLANTED AREAS.
- LANDSCAPE CONTRACTOR SHALL WATER AND MAINTAIN PLANTINGS PRIOR TO PROJECT FINAL COMPLETION.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN IRRIGATION SYSTEM PRIOR TO PROJECT FINAL COMPLETION.
- LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE ALIVE AND IN SATISFACTORY HEALTH FOR ONE YEAR FROM PROJECT FINAL COMPLETION.
- LANDSCAPE CONTRACTOR SHALL WARRANTY ALL PLANTINGS ONE YEAR FROM PROJECT FINAL COMPLETION.
- SEE PROJECT SPECIFICATIONS FOR CLARIFICATION AND ADDITIONAL DETAIL.

P:\158 BEC LA PINE TRANSIT CENTER\BEC158-DWG\SCHEDULES\BEC158-L1.0 LANDSCAPE PLAN.dwg

**PLANT AND MATERIALS SCHEDULE AND NOTES**  
**4TH STREET TRANSIT CENTER**  
 LA PINE, OR



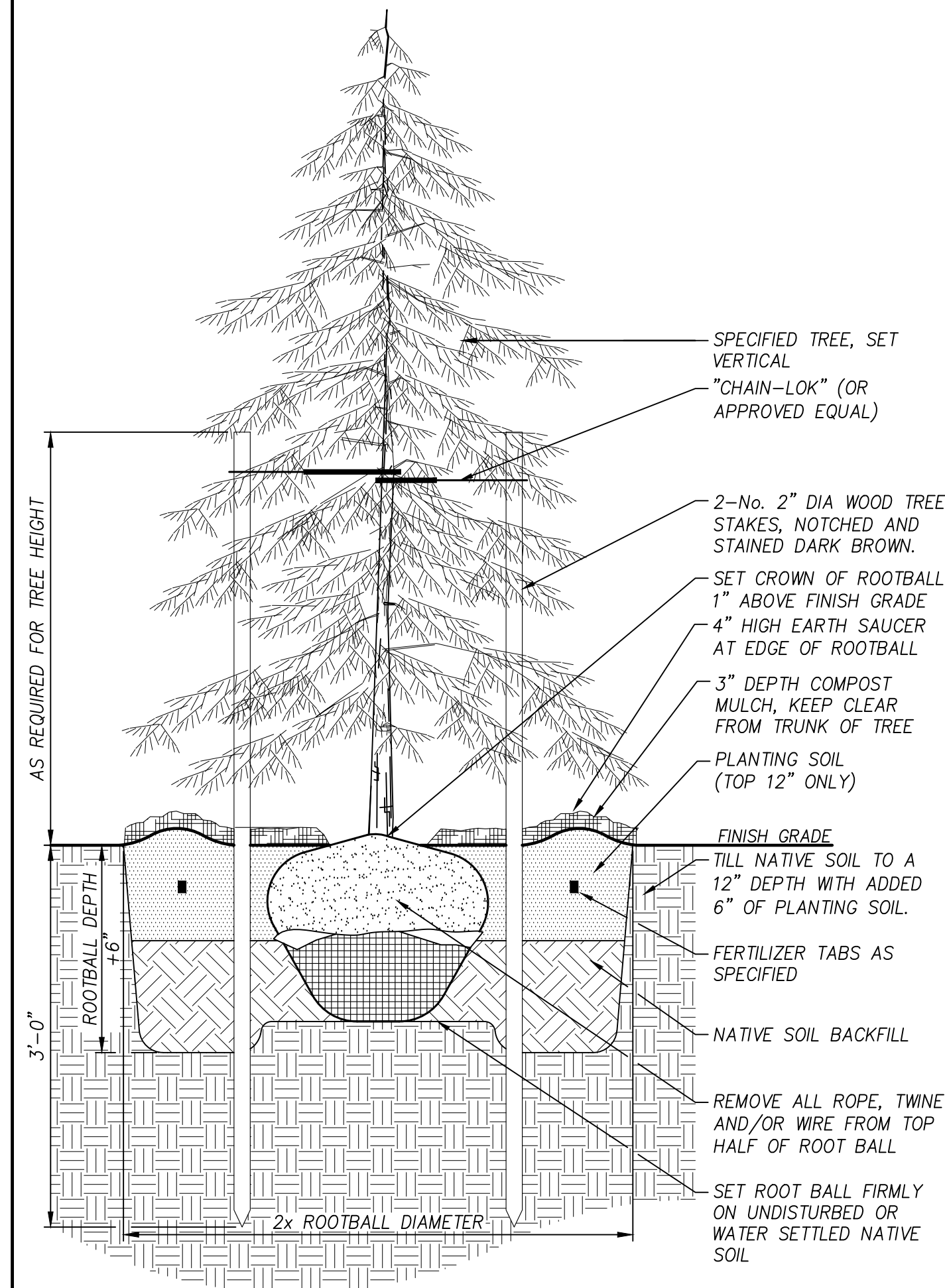
DESIGNED:	KJL	DRAWN:	KJL	CHECKED:	MS	DATE:	9.27.2020
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DATE	NO.	DESCRIPTION

SHEET NO.	<b>L1.1</b>
JOB NO.	BEC158

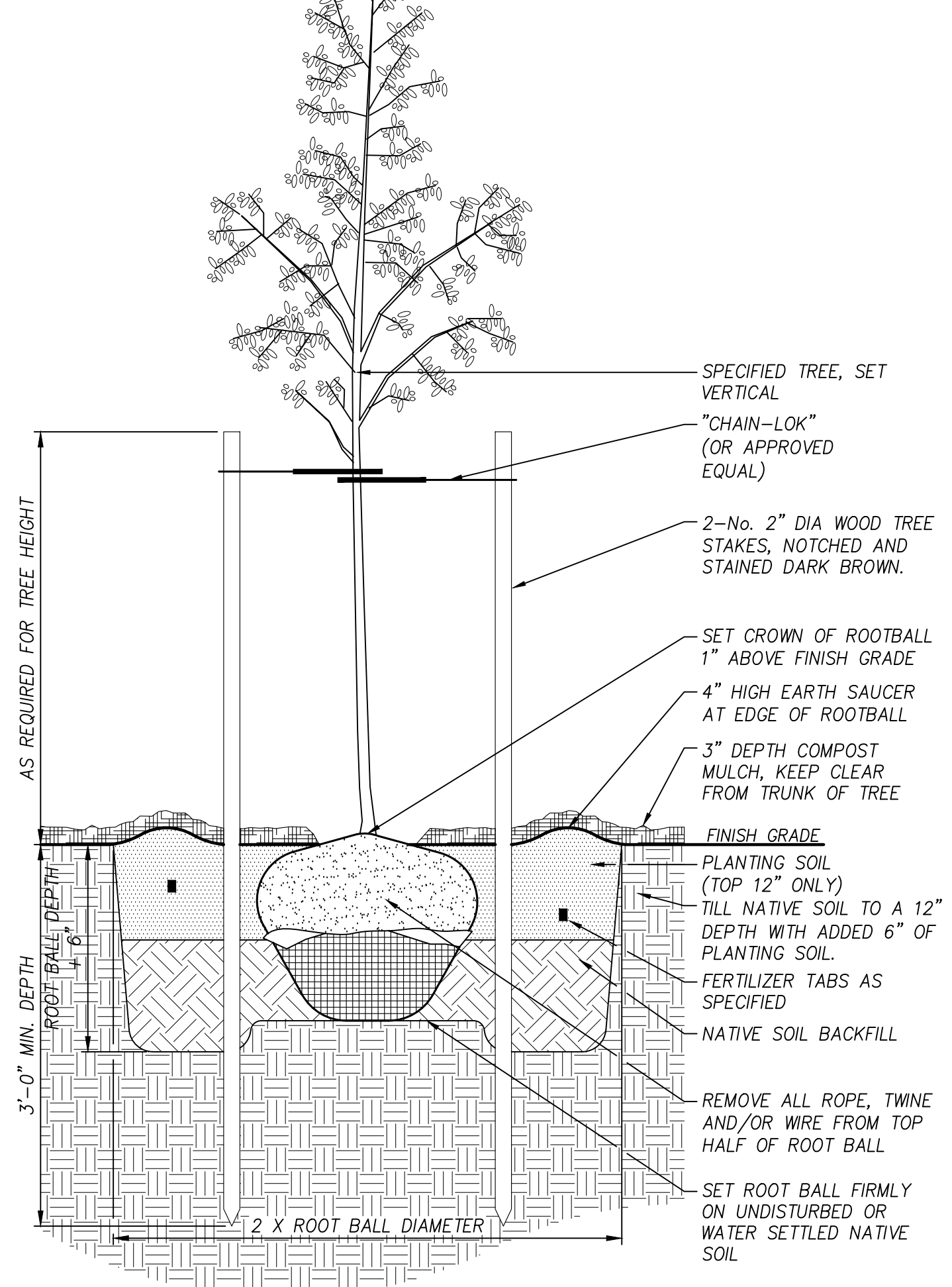
**DRAFT BID SET - NOT FOR CONSTRUCTION**

- NOTE:**
1. PROVIDE 36" DIAMETER MULCH RING AROUND ALL NEW TREE PLANTINGS.
  2. SEE SPECIFICATIONS FOR CLARIFICATION AND ADDITIONAL DETAIL.

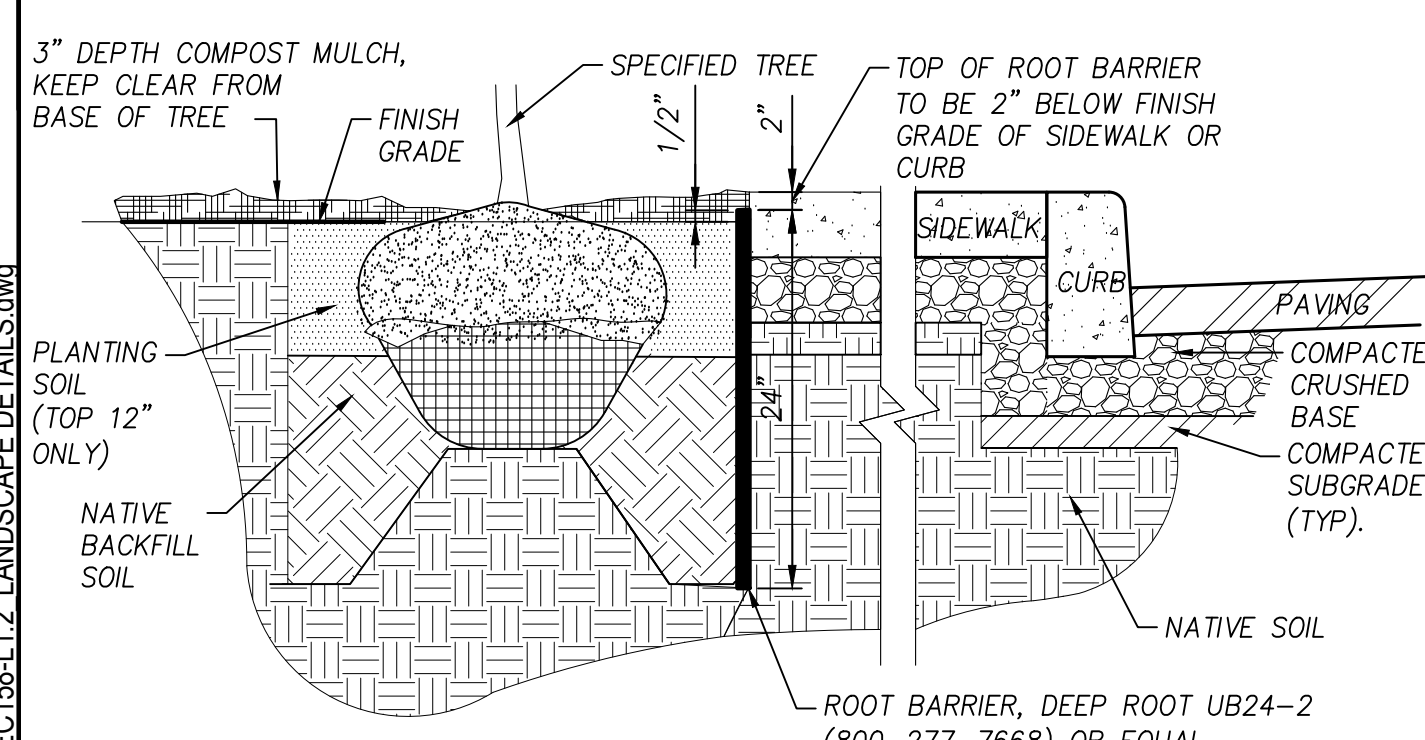


**1 CONIFER TREE PLANTING**  
Section NOT TO SCALE

- NOTE:**
1. PROVIDE 36" DIAMETER MULCH RING AROUND ALL NEW TREE PLANTINGS.
  2. SEE SPECIFICATIONS FOR CLARIFICATION AND ADDITIONAL DETAIL.

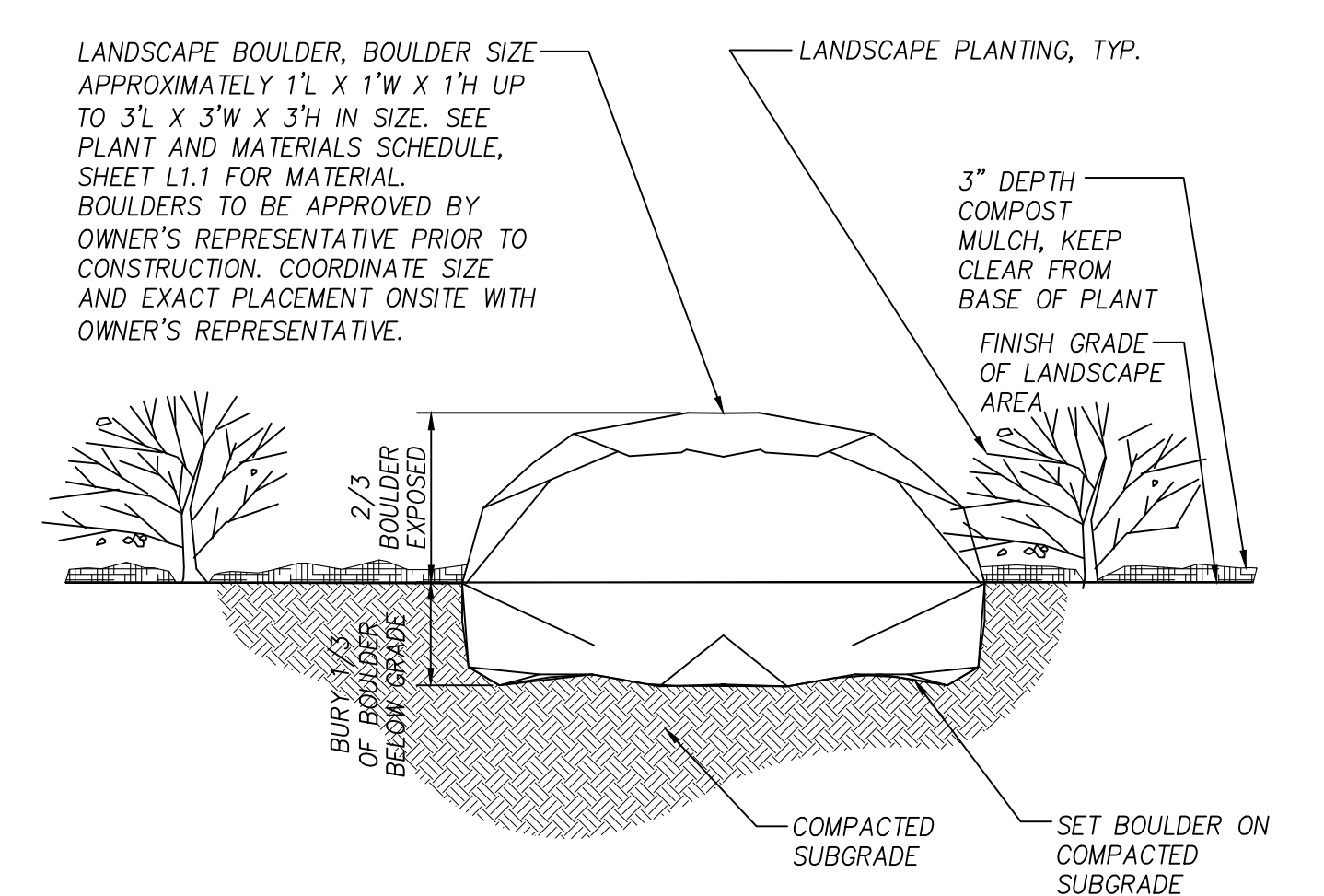


**2 DECIDUOUS TREE PLANTING**  
Section NOT TO SCALE

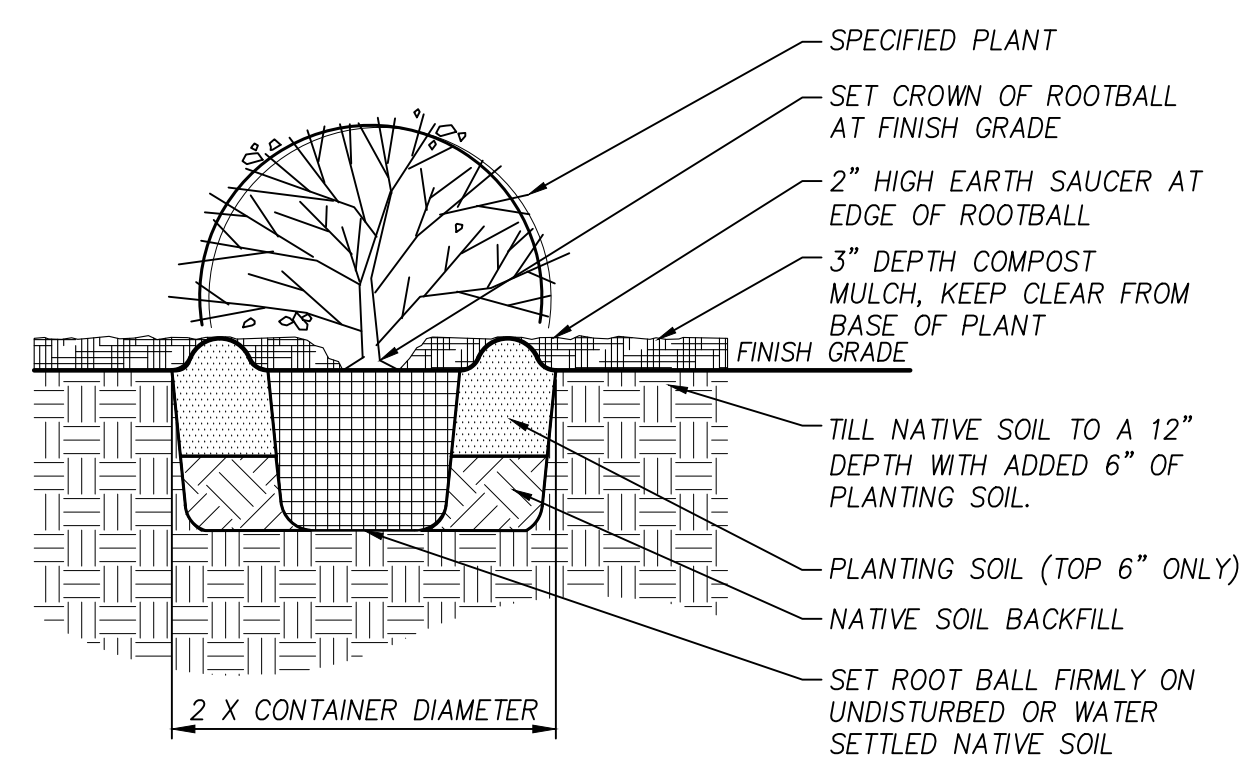


- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. THE RAISED ROOT GUIDING RIBS MUST BE FACING TOWARDS THE TREE ROOTS.
  3. THE TOP OF THE BARRIER PANELS MUST BE 1/2" ABOVE FINISHED GRADE.
  4. POSITION BARRIER PANELS VERTICALLY WITH TOP AGAINST THE STRUCTURE TO BE PROTECTED.
  5. SEE LANDSCAPE PLAN TO DETERMINE TREES THAT REQUIRE BARRIER PANEL.

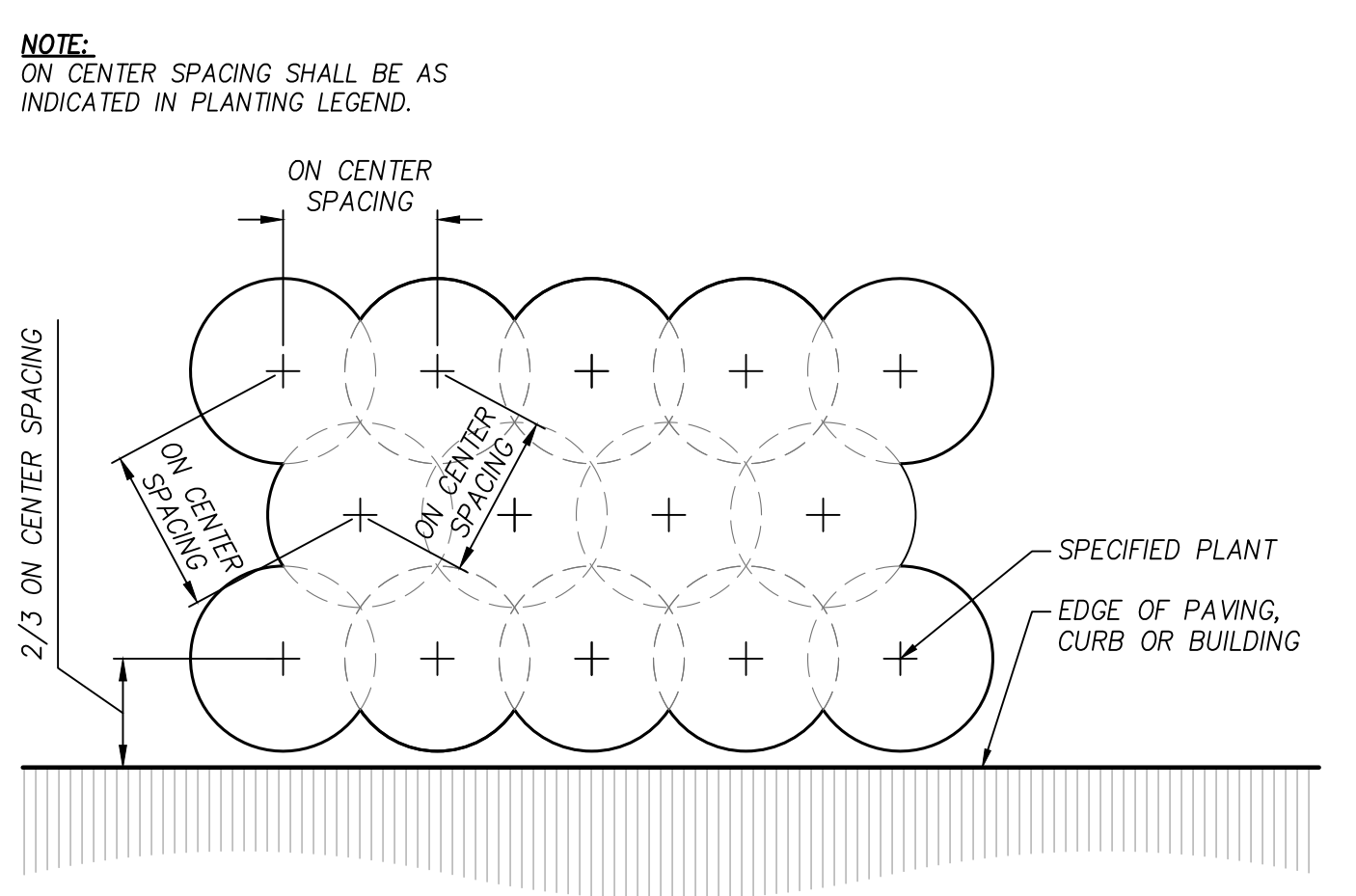
**7 ROOT BARRIER**  
Section NOT TO SCALE



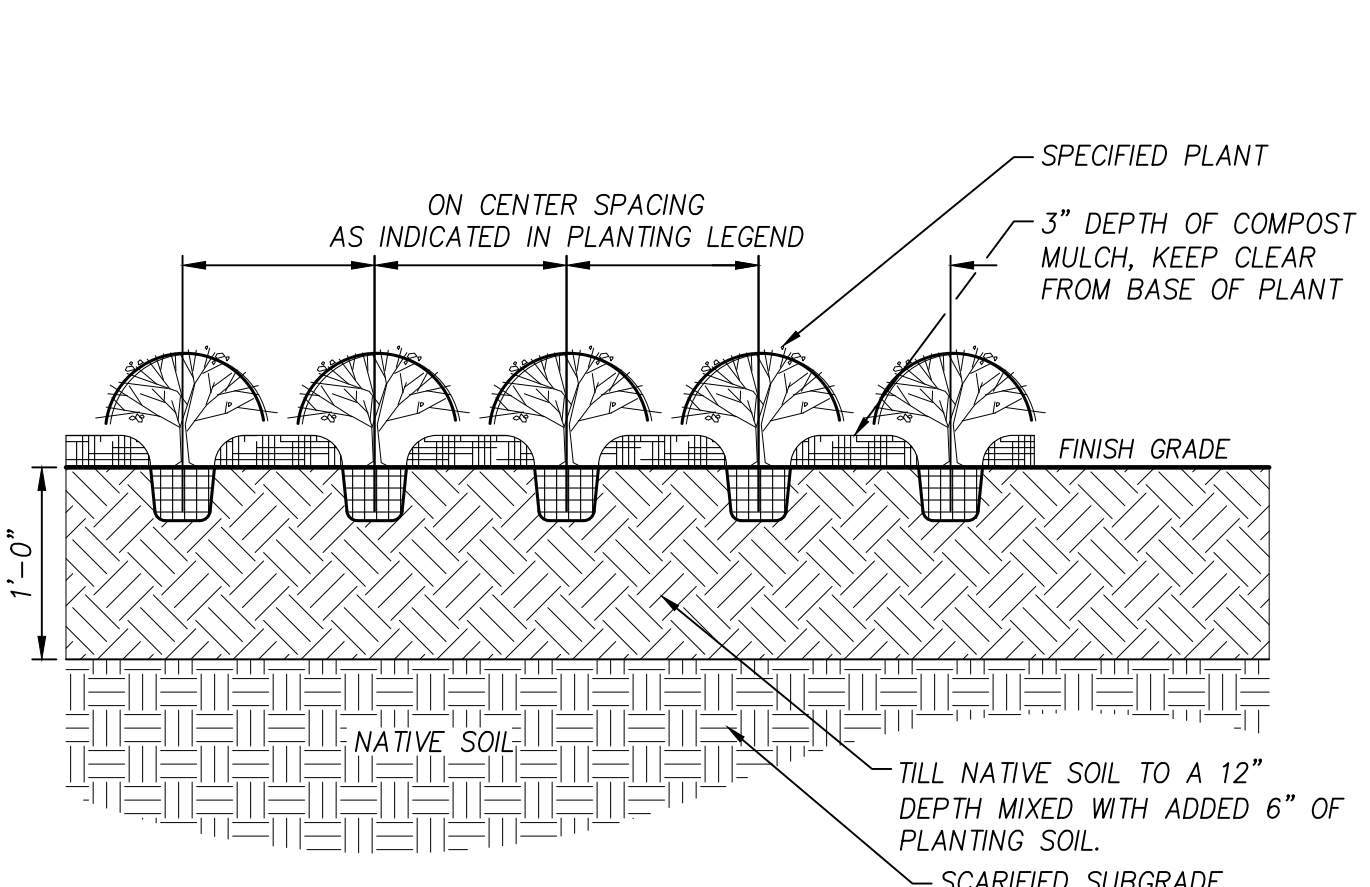
**8 BOULDER IN LANDSCAPE**  
Section NOT TO SCALE



**3 SHRUB PLANTING**  
Section NOT TO SCALE

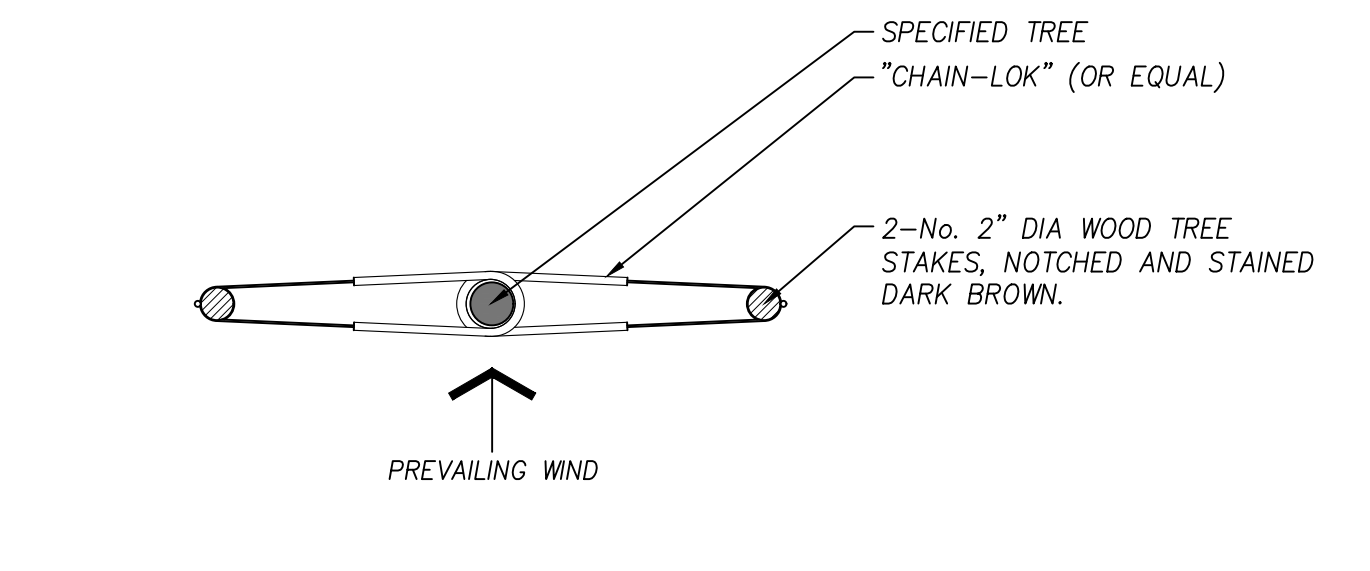


**5 TRIANGULAR SPACING**  
Plan NOT TO SCALE



**4 PERENNIAL AND ORNAMENTAL GRASS DETAIL**  
Section NOT TO SCALE

- NOTES:**
1. TWICE WRAP TREE TIES AROUND NOTCHED STAKE AND TWIST ENDS TO SECURE (ALLOWING TRUNK TO MOVE 3" IN ALL DIRECTIONS).
  2. INSTALL TREE STAKES PARALLEL TO ADJACENT R/W, CURB OR WALK, WHERE SAFETY OR CONFLICT MAY BE AN ISSUE VS. STANDARD PREVAILING WIND ORIENTATION.



**6 TREE STAKING**  
Plan NOT TO SCALE

P:\188 BEC LA PINE TRANSIT CENTER\BEC188-DWG\SHEETS\BEC188-L1.2 LANDSCAPE DETAILS.dwg

**PLANTING DETAILS**  
**4TH STREET TRANSIT CENTER**  
LA PINE, OR

**KATRINA LANGENDERFER**  
LANDSCAPE ARCHITECTURE  
KLangenderfer@klangenderfer.com  
415.525.9771 (LA PINE, OR)

**REGISTERED**  
**PRELIMINARY**  
KATRINA J. LANGENDERFER  
LANDSCAPE ARCHITECT  
11/09/2015

DESIGNED:	KJL	DRAWN:	KJL	CHECKED:	MS	DATE:	9.27.2020
DATE:		NO.		DESCRIPTION			

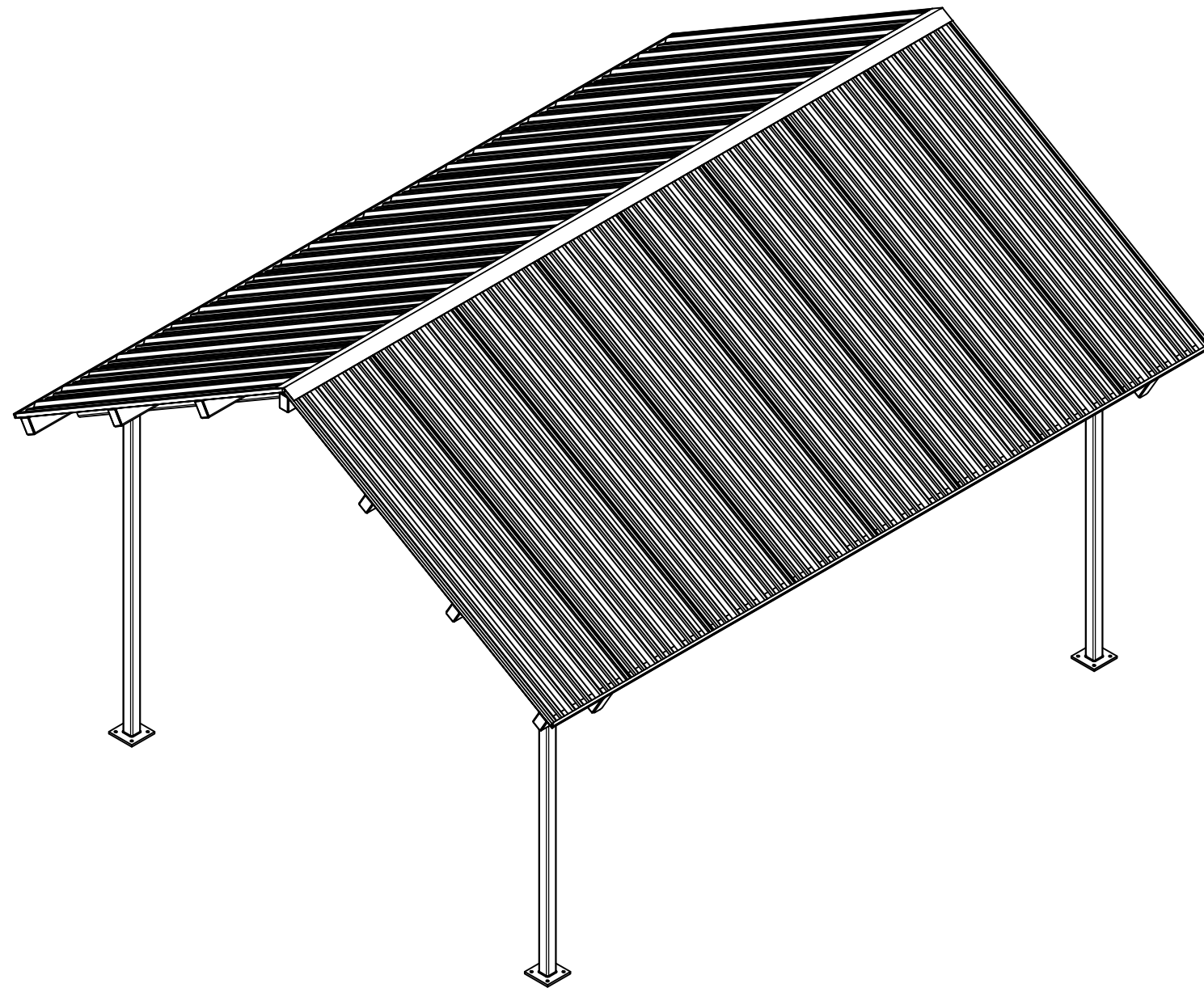
SHEET NO.  
**L1.2**  
JOB NO.  
BEC158

**DRAFT BID SET - NOT FOR CONSTRUCTION**

# SHADE STRUCTURE DRAWINGS

MODEL: DEN

CONFIGURATION: S70-19.7-13.0-24.0



STRUCTURE ISO VIEW

## INDEX OF DRAWINGS

NO.	TITLE
COR-01	COVER SHEET
COR-02	STRUCTURE ELEVATIONS
COR-03	FOOTING DETAILS
COR-04	COMPONENT LINE DRAWINGS
COR-05	GENERAL COMPONENTS FABRICATION PLANS
COR-06	TRUSS FABRICATION PLANS
COR-07	TENSIONING CABLE DETAILS
COR-08	FABRICATION DETAILS
COR-09	BILL OF MATERIALS

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3808 N. Sullivan Bldg. #7 Spokane, WA 99216



901 N. Highway 77 Hillsboro, TX 76645

SHADE STRUCTURE - DEN-24  
CONFIG. S70-19.7-13.0-24.0

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CXT Incorporated

FABRICATION TOLERANCES:

OVERALL LENGTH OR WIDTH  
10 FT OR UNDER = ± 1/8"  
10 TO 20 FT = +1/8", -3/16"  
20 TO 40 FT = ± 1/4"  
POSITION OF PERLINS = ± 1/4"  
TIPPING AND FLUSHNESS OF PLATES = ± 1/16"  
BOWING = LENGTH/360  
END SQUARENESS = ± 1/8"

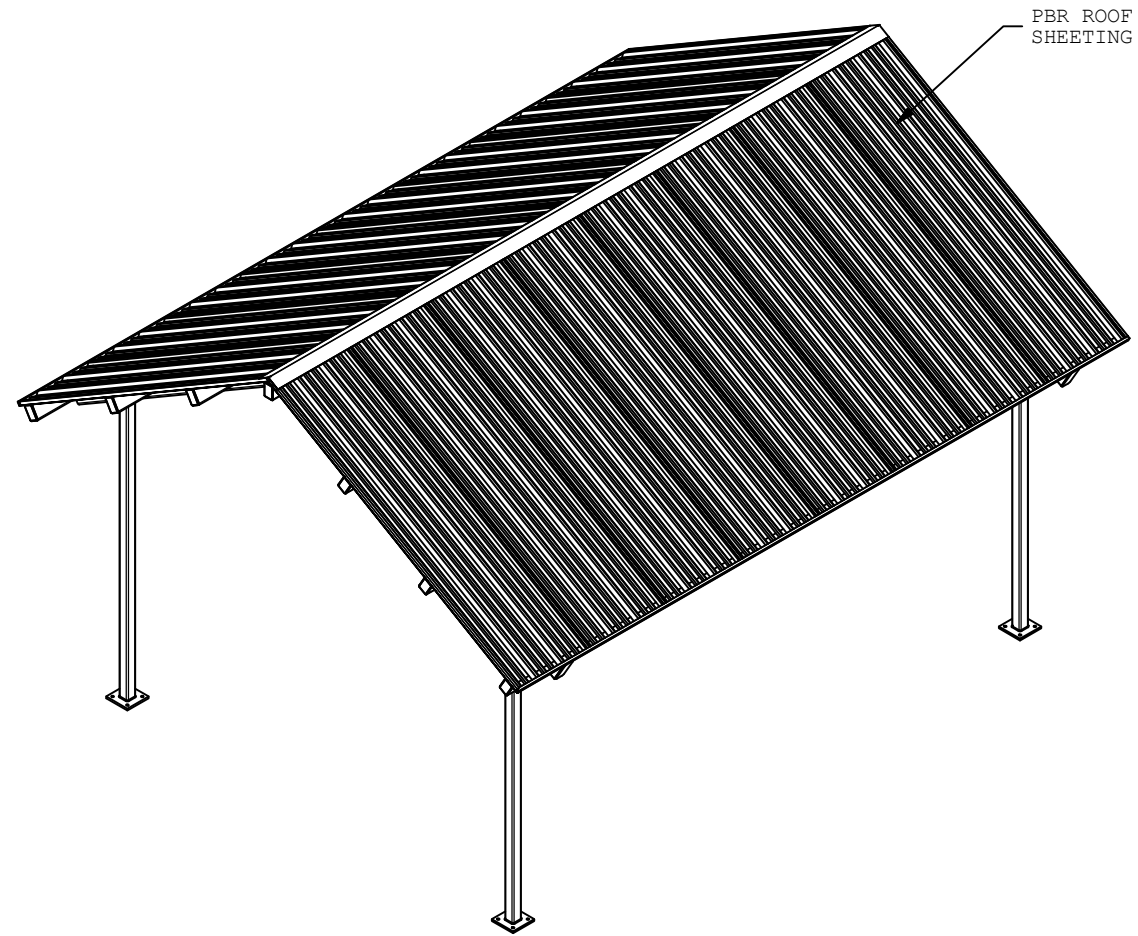
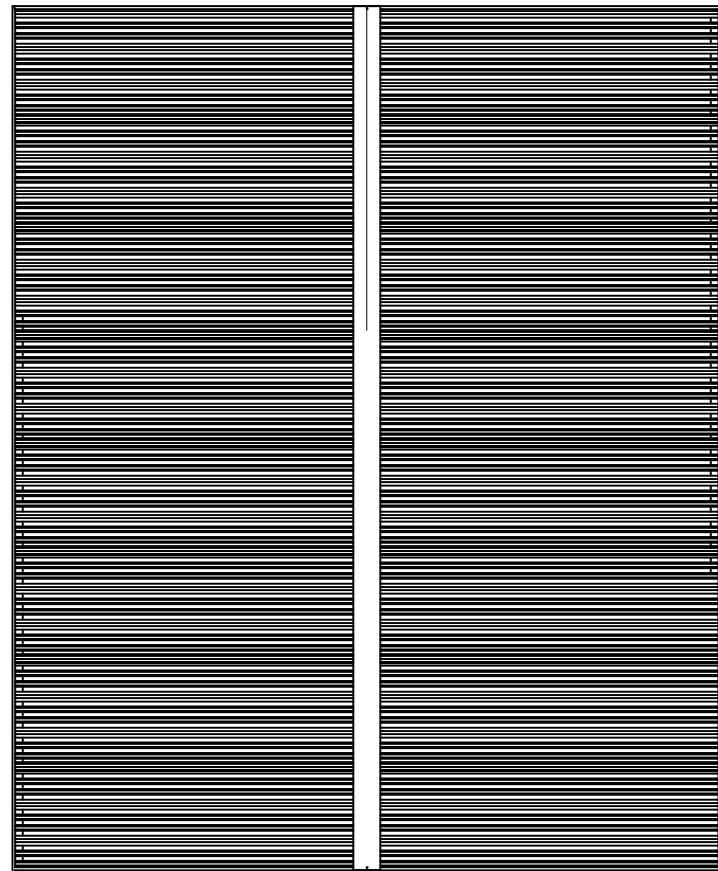
FRAME COLOR: TBD  
ROOF COLOR: TBD  
APPROX WEIGHT: 4600lb

NO.	DESCRIPTION	DATE	BY	CHKD

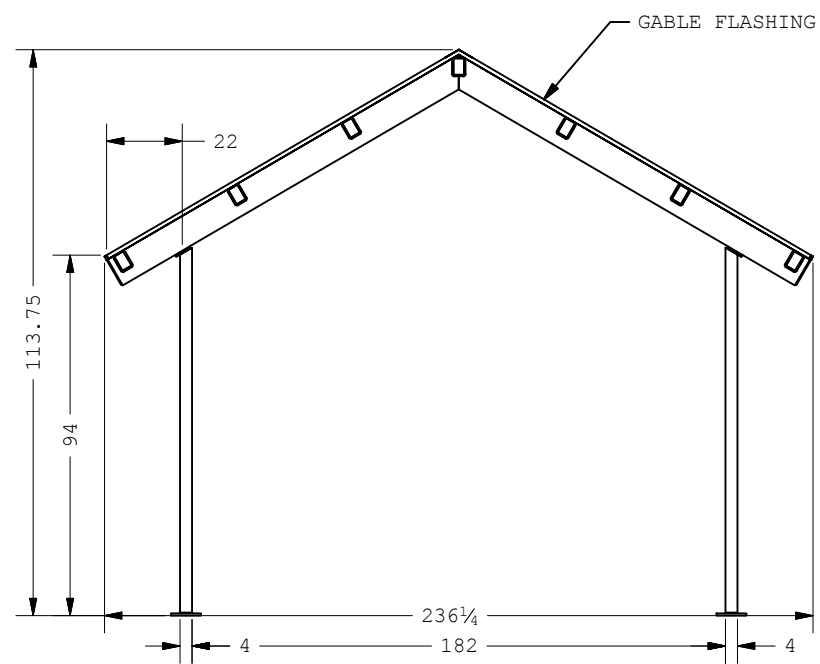
SHADE SHELTER  
COVER SHEET

DOC NO:	SHEET	REV:
COR-1	1	
	32	9



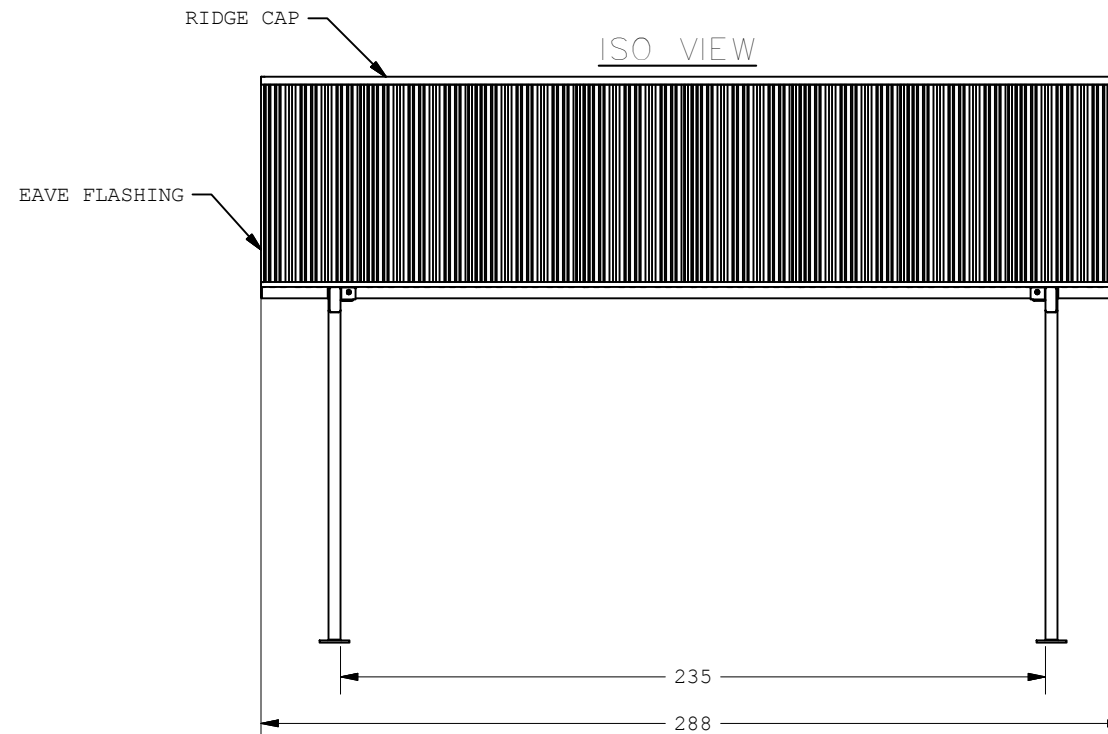


TOP VIEW



FRONT VIEW

ISO VIEW



SIDE VIEW

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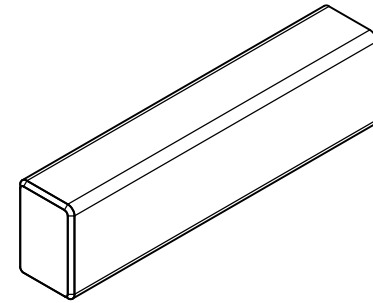
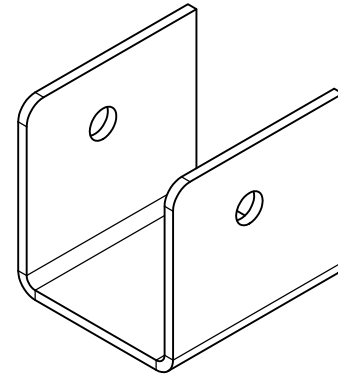
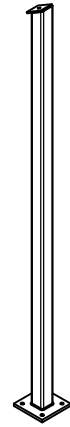
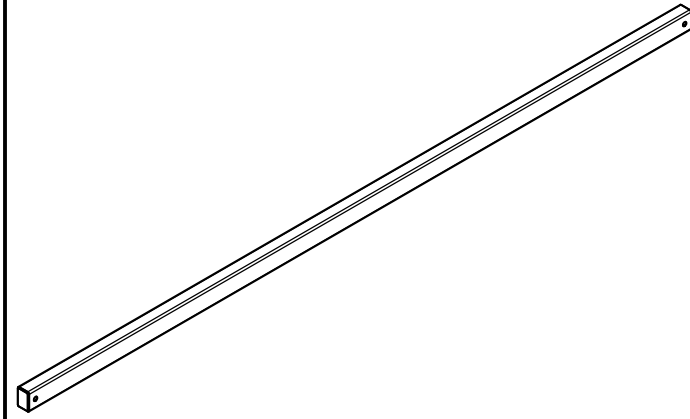
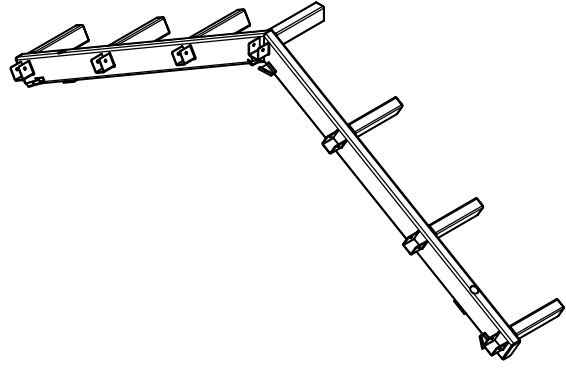
SHADE STRUCTURE - DEN-24  
CONFIG. S70-19.7-13.0-24.0

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DATE	DESCRIPTION	BY	REV.

SHADE SHELTER  
STRUCTURE ELEVATIONS

W/C NO. COR-2 SHEET 2 OF 3 REV. 33



TRUSS ASSEMBLY

QTY  
2

PERLÍN/ RIDGE  
BEAM ASSEMBLY

QTY  
7

COLUMN  
ASSEMBLY

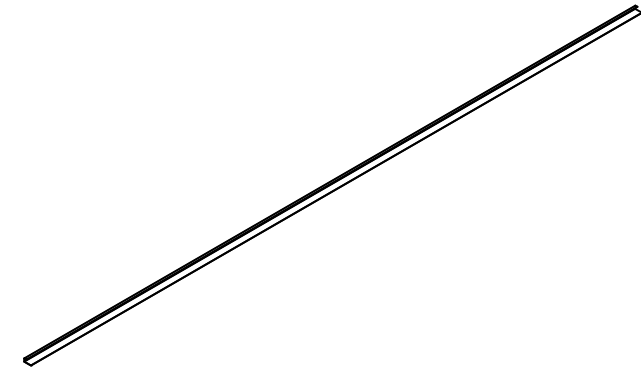
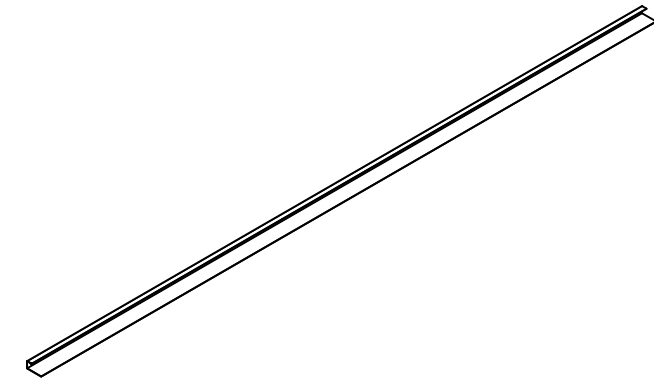
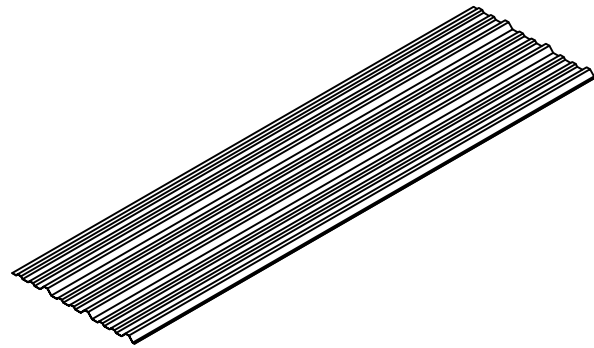
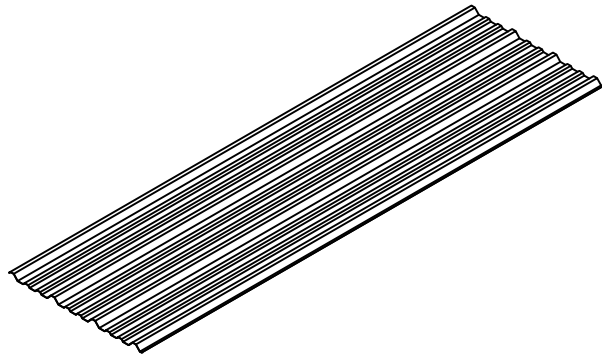
QTY  
4

STIRRUP  
(FACTORY WELDED TO TRUSS)

QTY  
14

TAIL ASSEM.  
(FACTORY WELDED TO TRUSS)

QTY  
14



ROOF PANEL

QTY  
4

ROOF PANEL CUT

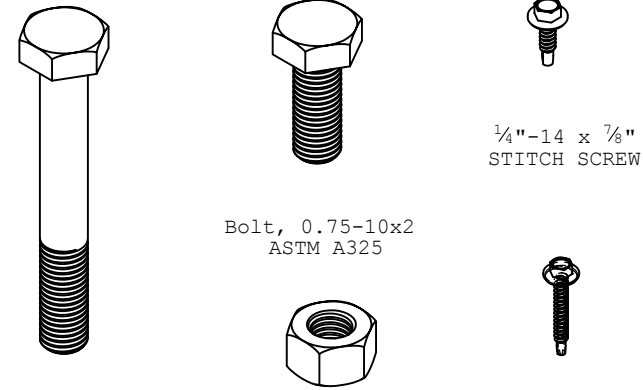
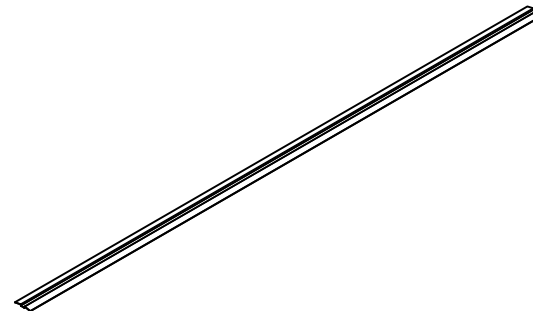
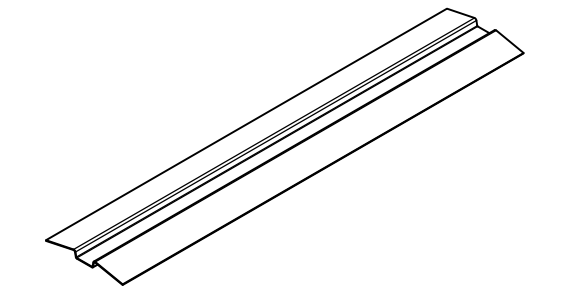
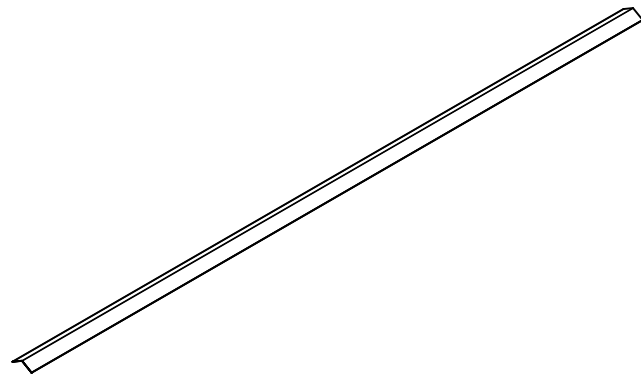
QTY  
2

GABLE TRIM

QTY  
4

EAVE TRIM

QTY  
2



Bolt, 0.75-10x5.5  
ASTM A325

Nut, 0.75-10  
ASTM A563C

#12"-14 x 1 1/2"  
STITCH SCREW

RIDGE CAP

QTY  
1

ROOF SUPPORT TAIL

QTY  
2

ROOF SUPPORT BAY

QTY  
1

FASTENERS

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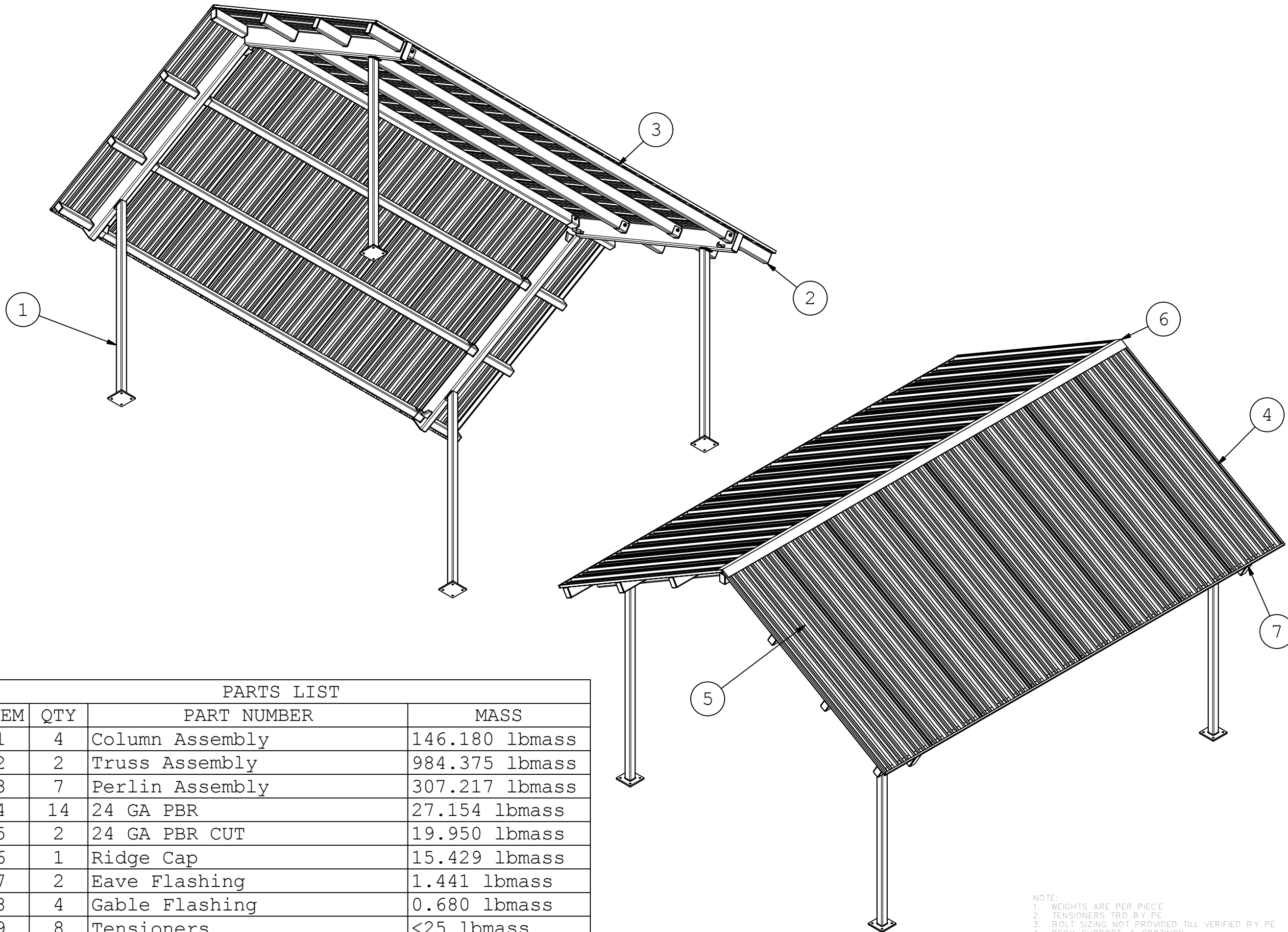
SHADE STRUCTURE - DEN-24  
CONFIG. S70-19.7-13.0-24.0

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NO.	DATE	BY	DESCRIPTION

COMPONENT  
LINE DRAWINGS

COR-4 34/9



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CONFIG. S70-19.7-13.0-24.0

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NO.	DESCRIPTION	QTY	UNIT	REVISION

SHADE SHELTER  
BILL OF MATERIALS

INC NO:	SHEET NO:	REV:
COR-9	35	9

PARTS LIST			
ITEM	QTY	PART NUMBER	MASS
1	4	Column Assembly	146.180 lbmass
2	2	Truss Assembly	984.375 lbmass
3	7	Perlin Assembly	307.217 lbmass
4	14	24 GA PBR	27.154 lbmass
5	2	24 GA PBR CUT	19.950 lbmass
6	1	Ridge Cap	15.429 lbmass
7	2	Eave Flashing	1.441 lbmass
8	4	Gable Flashing	0.680 lbmass
9	8	Tensioners	<25 lbmass

NOTE:  
1. WEIGHTS ARE PER PIECE  
2. TENSIONERS TBD BY PE  
3. BOLT SIZING NOT PROVIDED TILL VERIFIED BY PE  
4. DECK SUPPORT, & FOOTINGS



## Concrete Buildings



Contract # 030117-CXT

CXT® Precast Concrete Products manufactures restroom, shower and concession buildings in multiple designs, textures and colors. The roof and walls are fabricated with high strength precast concrete to meet all local building codes and textured to match local architectural details. All CXT buildings are designed to meet A.D.A. and to withstand heavy snow, high wind and category E seismic loads. All concrete construction also makes the buildings easy to maintain and withstand the rigors of vandalism. The buildings are prefabricated and delivered complete and ready-to-use, including plumbing and electrical where applicable. With thousands of satisfied customers nationwide, CXT is the leader in prefabricated concrete restrooms.

1. ORDERING ADDRESS(ES): CXT Precast Products, Inc., 3808 N. Sullivan Road, Building 7, Spokane, WA 99216
2. ORDERING PROCEDURES: Fax 509-928-8270
3. PAYMENT ADDRESS(ES): CXT Precast Products, Inc., 3808 N. Sullivan Road, Building 7, Spokane, WA 99216
4. WARRANTY PROVISIONS: CXT provides a warranty against structural defects in material or workmanship for a period of twenty (20) years on all concrete components (does not include non-structural cracking). The warranty is valid only when concrete is used within the specified loadings. Furthermore, said warranty includes only the related material necessary for the construction and fabrication of said concrete components. All other non-concrete components will carry a one (1) year warranty. CXT warrants that all goods sold pursuant hereto will, when delivered, conform to specifications set forth above. Goods shall be deemed accepted and meeting specifications unless notice identifying the nature of any non-conformity is provided to CXT in writing within the specified warranty. CXT, at its option, will repair or replace the goods or issue credit for the customer provided CXT is first given the opportunity to inspect such goods. It is specifically understood that CXT's obligation hereunder is for credit, repair or replacement only, F.O.B. CXT's manufacturing plants, and does not include shipping, handling, installation or other incidental or consequential costs unless otherwise agreed to in writing by CXT.

This warranty shall not apply to:

1. Any goods which have been repaired or altered without CXT's express written consent, in such a way as in the reasonable judgment of CXT, to adversely affect the stability or reliability thereof;
2. To any goods which have been subject to misuse, negligence, acts of God or accidents; or
3. To any goods which have not been installed to manufacturer's specifications and guidelines, improperly maintained, or used outside of the specifications for which such goods were designed.
5. TERMS AND CONDITIONS OF INSTALLATION (IF APPLICABLE): All prices subject to the "Conditions of Sale" listed on the CXT quotation form.

Customers are responsible for marking exact location building is to be set; providing clear and level site, free of overhead and/or underground obstructions; and providing site accessible to normal highway trucks and sufficient area for the crane to install and other equipment to perform the contract requirements. Customer shall provide notice in writing of low bridges, roadway width or grade, unimproved roads or any other possible obstacles to access. CXT reserves the right to charge the customer for additional costs incurred for special equipment required to perform delivery and installation. Customers will negotiate installation on

a project-by- project basis, which shall be priced as separate line items. For more information regarding installation and truck turning radius guidelines please see our website at <http://www.cxtinc.com>.

In the event delivery of the building/s ordered is/are not completed within 30 days of the agreed to schedule through no fault of CXT, an invoice for the full contract value (excluding shipping and installation costs) will be submitted for payment. Delivery and installation charges will be invoiced at the time of delivery and installation.

Should the delivery and installation costs increase due to changes in the delivery period, this increase will be added to the price originally quoted, and will be subject to the contract payment terms.

In the event that the delivery is delayed more than 90 days after the agreed to schedule and through no fault of CXT, then in addition to the remedies above, a storage fee of 1-1/2% of contract price per month or any part of any month will be charged.

\*\*Customer is responsible for all local permits and fees.

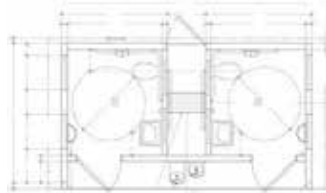
6. DELIVERY CHARGE: All prices F.O.B. origin prepaid and added to invoice. CXT operates three (3) manufacturing plants in the United States and will deliver from the closest location on our carriers.

7. PAYMENT TERMS: Payment to CXT by the purchaser shall be made net 30 days after submission of the invoice to the purchaser on approved credit. Interest at a rate equal to the lower of (i) the highest rate permitted by law; or (ii) 1.5% per month will be charged monthly on all unpaid invoices beginning with the 35th day (includes five (5) day grace period) from the date of the invoice. Under no circumstance can retention be taken. If CXT initiates legal proceeding to collect any unpaid amount, purchaser shall be liable for all of CXT's costs, expenses and attorneys' fees and costs of any appeal.

8. LIMITATION OF REMEDIES: In the event of any breach of any obligations hereunder; breach of any warranty regarding the goods, or any negligent act or omission of any party, the parties agree to submit all claims to binding arbitration. Any settlement reached shall include all reasonable costs including attorney fees. In no event shall CXT be subject to or liable for any incidental or consequential damages. Without limitation on the foregoing, in no event shall CXT be liable for damages in excess of the purchase price of the goods herein offered.

9. DELIVERY INFORMATION: All prices F.O.B. origin prepaid and added to invoice. CXT operates three (3) manufacturing plants in the United States and will deliver from the closest location on our carriers. Use the information below to determine the origin:

- F.O.B. 3808 N. Sullivan Road, Building 7, Spokane, WA 99216 applies to: AK, CA, HI, ID, MT, ND, NV, OR, SD, UT, WA, WY.
- F.O.B. 901 North Highway 77, Hillsboro, TX 76645 applies to AR, AZ, CO, IA, KS, LA, MN, MO, MS, NE, NM, OK, TX.
- F.O.B. 362 Waverly Road, Williamstown, WV 26183 applies to AL, CT, DE, FL, GA, IL, IN, KY, MA, MD, ME, MI, NC, NH, NJ, NY, OH, PA, PR, RI, SC, TN, VA, VT, WI, WV.
- Prices exclude all federal/state/local taxes. Tax will be charged where applicable if customer is unable to provide proof of exemption.



Denali restroom is a double unit flush style restroom with board and batt upper wall siding, Napa Valley rock lower wall siding, cedar shake roof, vitreous china fixtures, interior and exterior lights, off loaded and set up at site.

**Denali** Base Price

Optional Sections:			
Restroom	Qty:	=	
Family Assist Shower/Restroom Combo*	Qty:	=	
Concession	Qty:	=	
			<b>Total Optional Sections</b>

Added Cost Options:			Price Per Unit
Final Connection to Utilities			\$
Optional Roof Texture -choose one    Delta Rib			\$
Two-Tone Color Scheme			\$
Stainless Steel Plumbing Fixtures (1 water closet & 1 sink)		Qty:	\$
Electric Hand Dryer (each)		Qty:	\$
Electronic Flush Valves (1 water closet & 1 sink)		Qty:	\$
Exterior Mounted ADA Drinking Fountain w/Cane Skirt			\$
4-gallon Electric Water Heater			\$
Skylight in Restroom (each)		Qty:	\$
Marine Grade Skylight in Restroom (each)		Qty:	\$
Marine Package for Extra Corrosion Resistance			\$
Fiberglass Entry and Chase Doors and Frames			\$
Tile Floor in Restroom			\$
Defense Shield - Anti-Graffiti Coating			\$
Timed Electric Lock System (does not include chase door)			\$
Exterior Frostproof Hose Bib with Box			\$
Paper Towel Dispenser		Qty:	\$
Toilet Seat Cover Dispenser		Qty:	\$
Sanitary Napkin Disposal		Qty:	\$
Baby Changing Station (each)		Qty:	\$
CXT Wastebasket		Qty:	\$
Paint Touch up Kit - Single Color			\$
Paint Touch up Kit - Two Tone Color			\$
Total Cost of Selected Accessories from Accessories Price List:			\$
Estimated One-Way Transportation Costs to Site (quote):			\$
Custom Options:			\$
<b>Total Cost per Unit Placed at Job Site:</b> <small>(excludes all taxes)</small>			<b>\$</b>

**Disclaimer: Please call to confirm selected sections are compatible.**

**Estimated monthly payment on 5 year lease**

This price quote is good for 60 days from date below, and is accurate and complete.

CXT Sales Representative

Date



I accept this quote. Please process this order.

Company Name

Customer

37    Date

**Exterior Color Options:**

*(For single color mark an X or for two tone combinations use W = Walls / R = Roof.)*

<input type="checkbox"/> Amber Rose	<input type="checkbox"/> Liberty Tan	<input type="checkbox"/> Berry Mauve	<input type="checkbox"/> Sage Green
<input type="checkbox"/> Toasted Almond	<input type="checkbox"/> Oatmeal Buff	<input type="checkbox"/> Buckskin	<input type="checkbox"/> Rosewood
<input type="checkbox"/> Sun Bronze	<input type="checkbox"/> Golden Beige	<input type="checkbox"/> Mocha Carmel	<input type="checkbox"/> Malibu Taupe
<input type="checkbox"/> Sand Beige	<input type="checkbox"/> Natural Honey	<input type="checkbox"/> Salsa Red	<input type="checkbox"/> Java Brown
<input type="checkbox"/> Pueblo Gold	<input type="checkbox"/> Cappuccino Cream	<input type="checkbox"/> Coca Milk	<input type="checkbox"/> Raven Black
<input type="checkbox"/> Granite Rock	<input type="checkbox"/> Georgia Brick	<input type="checkbox"/> Western Wheat	<input type="checkbox"/> Nuss Brown
<input type="checkbox"/> Rich Earth	<input type="checkbox"/> Charcoal Grey	<input type="checkbox"/> Hunter Green	<input type="checkbox"/> Evergreen
Special roof color	# _____		
Special wall color	# _____		
Special trim color	# _____		

*(Sage green, hunter and evergreen colors are not available in colored through concrete.)*

**Rock Color Options:**

Basalt                                      Mountain Blend                                      Natural Grey                                      Romana

**Roof Texture Options:**

Cedar Shake                                      Ribbed Metal

**Wall Texture Options:**

*(For single texture mark an X or for different top and bottom textures use T = Top / B = Bottom.)*

Barnwood	Horizontal Lap	Napa Valley Rock	}	<i>Can only be used as bottom texture.</i>
Split Face Block	Board & Batt	River Rock		
Stucco/Skip Trowel	Brick	Field Stone		

*(Textures not included in CXT's quote are additional cost.)*

**Door Opener Options:**

Non-locking ADA Handle	Pull Handle/Push Plate
Privacy ADA Latch	Pull Handle/Push Plate w/Slide Lock

**Deadbolt Options:**

CXT Supplied                      Customer Supplied: \_\_\_\_\_  
Type & Part Number

**Accessible Signage Options:**

Men                      Women                      Unisex

**Paper Holder Options:**

2-Roll Stainless Steel                      3-Roll Stainless Steel

**Notes:**