

REMOVAL KEY NOTES

- 1
- SAWCUT AND REMOVE EXISTING HMAC PAVEMENT & AGGREGATE BASE AS SHOWN
- 2
- REMOVE EXISTING TREE & STUMP
- 3
- REMOVE EXISTING CONCRETE CURB

REMOVAL GENERAL NOTES

1. MINIMUM SAWCUT REMOVAL SHOWN - ACTUAL SAWCUT LINE TO FOLLOW EXISTING CONCRETE SCORE LINES (TYPICAL FOR ALL CONCRETE REMOVAL)
2. IF NECESSARY, CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR TEMPORARY RELOCATION OF POWER, COMMUNICATION, AND GAS DURING CONSTRUCTION. DISRUPTION OF UTILITY SERVICE TO ADJACENT PROPERTIES AND EXISTING ON-SITE FACILITIES, IF REQUIRED, SHALL BE COORDINATED WITH PROPERTY OWNERS AND SHALL BE MINIMIZED TO THE GREATEST EXTENT PRACTICABLE.
3. CONTRACTOR SHALL PROTECT EXISTING DRIVEWAYS AND SITE IMPROVEMENTS FROM DAMAGE DURING CONSTRUCTION. DAMAGED IMPROVEMENTS NOT SHOWN FOR REMOVAL SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
4. WITH REGARD TO UNDERGROUND UTILITIES, INFORMATION FROM THE CITY OF LA PINE AND UTILITY LOCATE MARKINGS WERE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, EXCAVATION MAY BE NECESSARY. PRIVATE LOCATES MAY BE NECESSARY TO CONFIRM ON-SITE UNDERGROUND/UNKNOWN UTILITIES THAT MAY BE PRESENT.

REMOVAL LEGEND

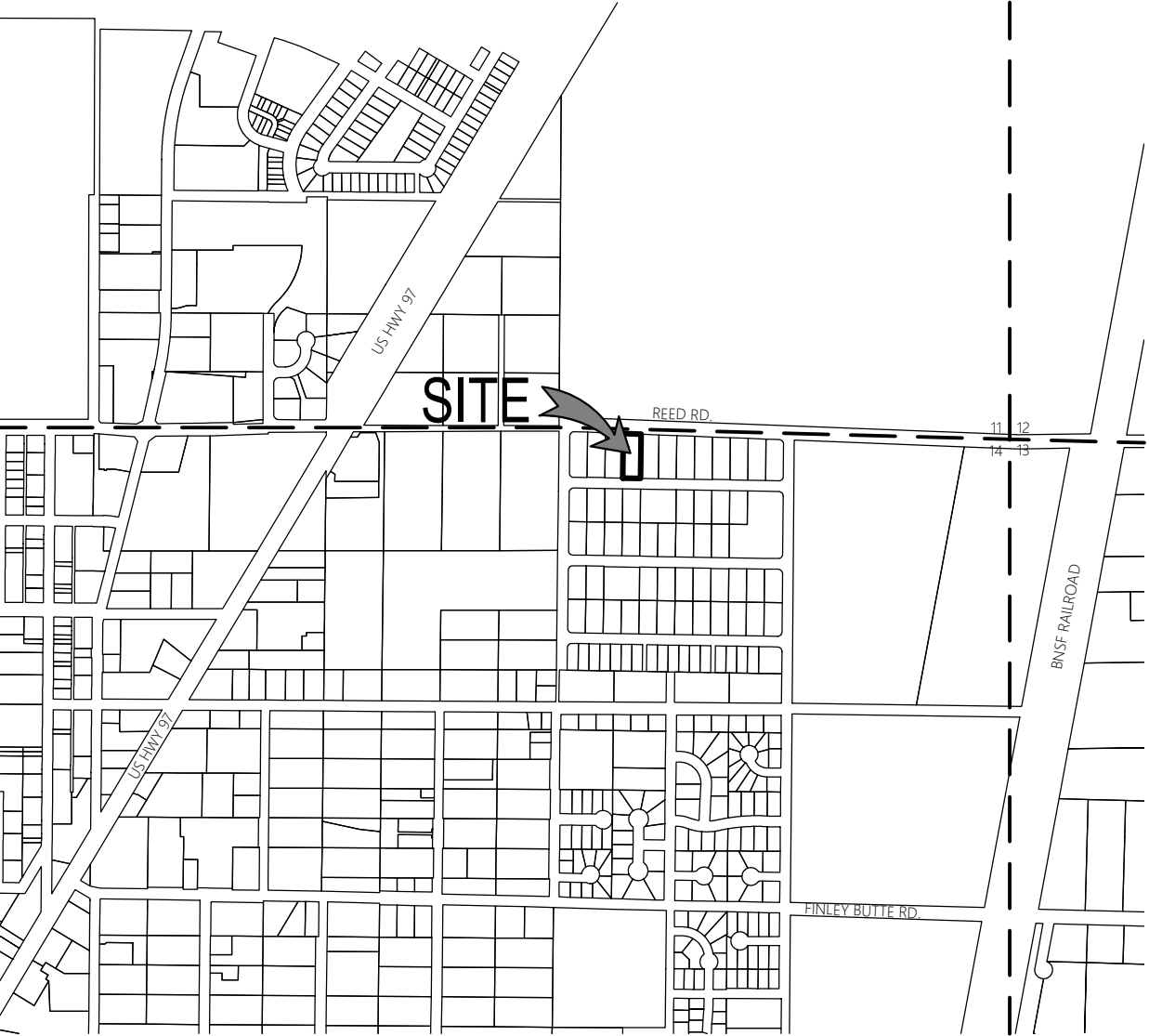
EXISTING HMAC PAVEMENT AND AGGREGATE BASE TO BE REMOVEDEXISTING TREE AND STUMP TO BE REMOVED

PERMANENT BENCH MARKS USED:

ID	DESCRIPTION	ELEV
#258	FND PROP CNR	4230.94'
#261	FND PROP CNR	4230.66'
#262	FND PROP CNR	4230.20'

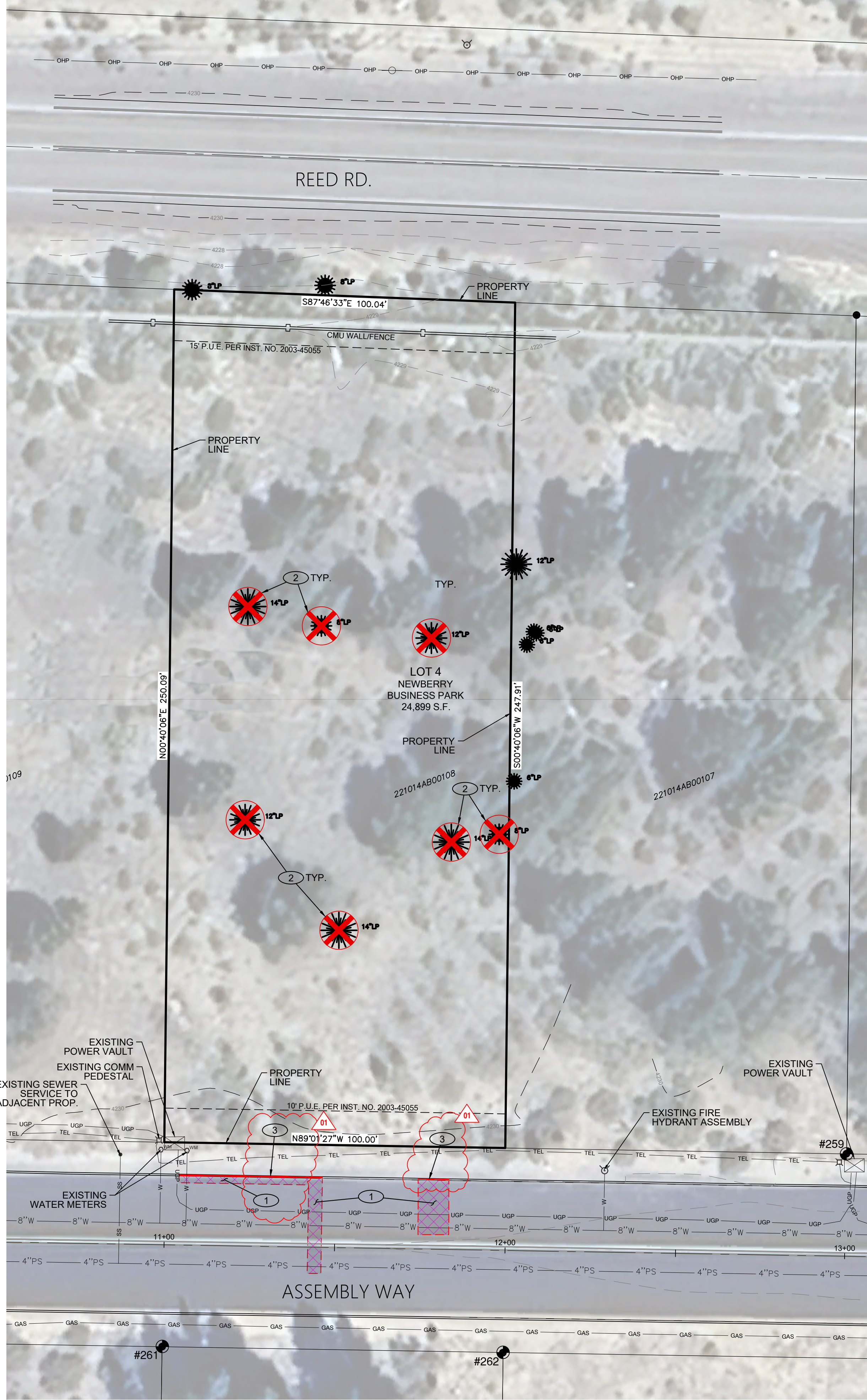
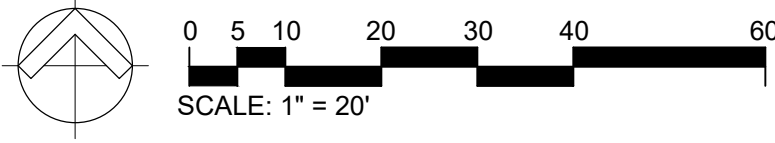
SURVEY LEGEND

<div></div>	SUBJECT PARCEL	<div></div>	RECOVERED SECTION CORNER
<div></div>	SECTION LINE	<div></div>	RECOVERED MONUMENT AS NOTED
<div></div>	ADJACENT PROPERTY LINE	<div></div>	RECORD PER REFERENCES
<div></div>	CURB LINE	<div></div>	OCRR OREGON CORNER RESTORATION RECORD
<div></div>	OVERHEAD POWER LINE	<div></div>	YPC YELLOW PLASTIC CAP
<div></div>	UNDERGROUND POWER LINE	<div></div>	RPC RED PLASTIC CAP
<div></div>	UNDERGROUND COMM. LINE	<div></div>	< > ORIGIN ON MONUMENT
<div></div>	UNDERGROUND GAS LINE	<div></div>	MANHOLE SEWER MANHOLE
<div></div>	UNDERGROUND SEWER LINE	<div></div>	CO SEWER CLEAN-OUT
<div></div>	UNDERGROUND STORM DRAIN	<div></div>	CB CATCH BASIN
<div></div>	UNDERGROUND WATER LINE	<div></div>	DM DRYWELL
<div></div>	WIRE FENCE LINE	<div></div>	WM WATER METER
<div></div>	WOOD FENCE LINE	<div></div>	VALVE WATER VALVE
<div></div>	CHAIN-LINK FENCE LINE	<div></div>	HYDRANT FIRE HYDRANT
<div></div>	CONTOUR LINE, 1' INTERVAL	<div></div>	VALVE IRRIGATION VALVE
<div></div>	BUILDING LINE	<div></div>	MANHOLE IRRIGATION MANHOLE
<div></div>	ASPHALT PAVING	<div></div>	SPRINKLER IRRIGATION SPRINKLER
<div></div>	CONCRETE	<div></div>	POLE UTILITY POLE
<div></div>	GRAVEL	<div></div>	ANCHOR GUY ANCHOR
<div></div>	ROCK OUTCROPPING	<div></div>	JBX/ELECTRIC JUNCTION BOX / TRANSFORMER
		<div></div>	PEDESTAL COMMUNICATION PEDESTAL
		<div></div>	SIGN



VICINITY MAP

SCALE: 1"=1000'  
SITUS LOCATION: 16628 ASSEMBLY WAY  
LA PINE, OR 97739  
TAXLOT(S): 22-10-14AB-00108



PERMIT/BID SET

LA PINE BUSINESS INCUBATOR

16628 ASSEMBLY WAY, LA PINE, OREGON 97739

PREPARED FOR : FRANCIS SENGER

PROJECT ARCHITECT : TRAVIS SMITH , AIA

PROJECT NUMBER: 2519



EXPIRES: 6/30/2026

C1.1

EXISTING CONDITIONS  
& REMOVAL PLAN

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BASIN	FACILITY NUMBER	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TOTAL CONTRIBUTING AREA (SF)	25-YR/24 HR RUNOFF VOLUME (CF/GAL)	25-YR/24 HR RUNOFF RATE (CFS/GPM)	POND CAPACITY VOLUME (CF/GAL) @ 4230.30'
B1	POND1	17,068	1,735	18,803	3,238/24,220	0.64/287	2755/20607

PROGRAM USED: HYDROCAD 10.00-24 STORMWATER MODELING  
CURVE NUMBER FOR IMPERVIOUS AREA = 98  
CURVE NUMBER FOR PERVIOUS AREA = 55 (SEE NRCS SOIL SURVEY MAP IN DRAINAGE REPORT)

25-YR/24-HR = 2.5 IN. (NOAA ATLAS 2 - VOLUME X PRECIPITATION VALUE - LA PINE, OR)  
TIME OF CONCENTRATION Tc = 5 MIN  
STORM TYPE - I

POND ASSUMED (TEST) INFILTRATION RATE = 17 IN/HR  
POND DESIGN INFILTRATION RATE = 10 IN/HR (FACTOR OF SAFETY, FS = 1.7)

PROPOSED POND HAVE BEEN SIZED TO HOLD THE RUNOFF FROM THE 25-YR/24-HR STORM EVENT.  
POND VOLUMES WERE CALCULATED USING HYDROCAD STORMWATER MODELING SOFTWARE,  
ASSUMING A DESIGN INJECTION RATE OF 10 IN/HR.

CONTRACTOR SHALL CONDUCT POND PERFORMANCE TESTING AS DESCRIBED BELOW. FACILITY TESTING SHALL BE PERFORMED IN THE PRESENCE OF THE ENGINEER OF RECORD (EOR) OR EOR REPRESENTATIVE AND PRIOR TO ANY PLACEMENT AGGREGATE BASE ROCK, HMAC OR PCC PAVING.

POND SIZING SHALL BE FIELD VERIFIED BY THE ENGINEER OF RECORD (EOR) OR EOR REPRESENTATIVE PRIOR TO BACKFILL OR PLACEMENT OF CLEAN DRAIN ROCK MEDIA.

STORMWATER FACILITIES SHALL BE COMPLETELY DRAINED WITHIN 72 HOURS AFTER COMPLETION OF PERFORMANCE TESTING.

#### POND TEST PROCEDURE

1. INSPECT POND PRIOR TO TESTING, ENSURING THE POND IS CLEAN AND CLEAR OF DEBRIS
2. INTRODUCE CLEAN WATER INTO THE POND AND MONITOR USING AN INLINE FLOW METER. PLACE AND AIM HOSE TO AVOID DAMAGING POND SIDE SLOPES.
3. CONTINUE PLACING WATER INTO THE POND UNTIL THE 25-YR/24-HR STORM VOLUME IS REACHED. PLACE THE VOLUME WITHIN 3 HOURS.
4. IF THE POND BEGINS TO BACK UP DURING TESTING, REDUCE FLOW TO MAINTAIN THE WATER LEVEL 6" BELOW THE TOP OF POND.
5. THE POND HAS PASSED TESTING IF IT IS EMPTY AT THE CONCLUSION OF THE 3-HR TEST PERIOD.
6. IF WATER REMAINS AT THE END OF THE 3-HR TEST PERIOD RECORD DRAW DOWN MEASUREMENTS IN 5-MINUTE INCREMENTS TO ENSURE INFILTRATION MATCHES THE REQUIRED TEST INFILTRATION RATE.
7. POND MUST BE EMPTY WITHIN 72-HOURS OF CONCLUSION OF TESTING.

#### PAVING KEY NOTES

1. PROPOSED 12" CONCRETE CURB W/ 6" REVEAL
2. PROPOSED 8" CONCRETE CURB (FLUSH / NO REVEAL)
3. PROPOSED HMAC PAVEMENT
4. PROPOSED LIGHT-DUTY PCC PAVEMENT
5. PROPOSED HEAVY-DUTY PCC PAVEMENT
6. PROPOSED DRIVEWAY APRON
7. PROPOSED PARKING LOT STRIPING
8. PROPOSED ACCESSIBLE PARKING AND LOADING ZONE
9. PROPOSED CONCRETE WHEEL STOP

#### GRADING LEGEND

- DRAINAGE BASIN BOUNDARY
- EXISTING CURB
- PROPOSED 12" CONCRETE CURB (6" REVEAL)
- 3551 --- EXISTING 1' GROUND SURFACE CONTOUR
- 3555 --- EXISTING 5' GROUND SURFACE CONTOUR
- 3551 --- PROPOSED 1' GROUND SURFACE CONTOUR
- 3555 --- PROPOSED 5' GROUND SURFACE CONTOUR
- 50.50 TC  
50.00 FG PROPOSED SPOT ELEVATION
- TC TOP OF CURB
- FG FINISH GRADE
- EG EXISTING GRADE
- RE RIM ELEVATION
- FFE FINISH FLOOR ELEVATION
- BW BOTTOM OF WALL
- TW TOP OF WALL

NOTE:  
ADD 4200.00 FT TO ALL SPOT ELEVATIONS

- EXISTING HMAC PAVEMENT TO REMAIN
- PROPOSED HMAC PAVEMENT
- EXISTING CONCRETE TO REMAIN
- PROPOSED LIGHT-DUTY PCC PAVEMENT
- PROPOSED HEAVY-DUTY PCC PAVEMENT



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PREPARED FOR : FRANCIS SENGER

PROJECT ARCHITECT : TRAVIS SMITH, AIA

PROJECT NUMBER: 2519

## LA PINE BUSINESS INCUBATOR

16628 ASSEMBLY WAY, LA PINE, OREGON 97739

### PERMIT/BID SET

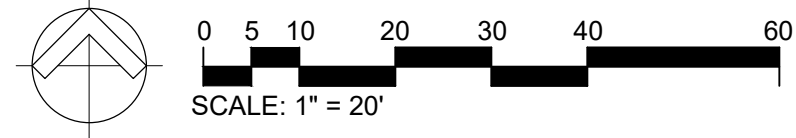


EXPIRES: 6/30/2026

## C2.1

GRADING &  
DRAINAGE PLAN



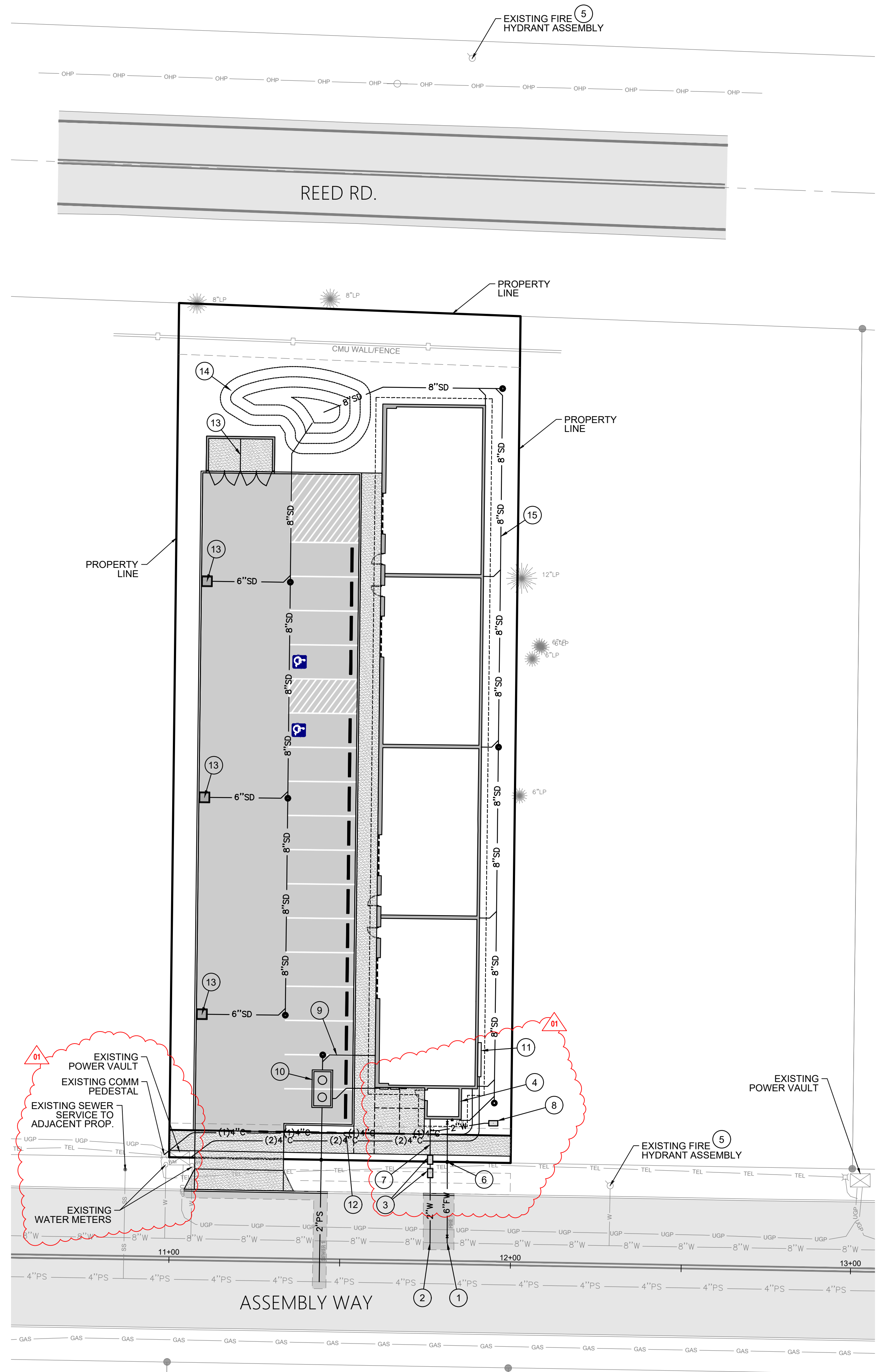


UTILITY KEY NOTES

- 1 PROPOSED 8"x6" HOT TAP TEE ASSEMBLY & 6" FIRE SPRINKLER LINE
- 2 PROPOSED 2" HOT TAP & 2" DOMESTIC WATER SERVICE
- 3 PROPOSED 2" WATER METER VAULT & ASSEMBLY AND 2" DCVA BOX & ASSEMBLY
- 4 PROPOSED FIRE SPRINKLER RISER ROOM WITH WALL MOUNTED FDC
- 5 EXISTING FIRE HYDRANT ASSEMBLY
- 6 PROPOSED FIRE SERVICE ISOLATION VALVE
- 7 PROPOSED 2" DOMESTIC WATER SERVICE TO PROPOSED BUILDING
- 8 PROPOSED IRRIGATION TEE & STUB
- 9 PROPOSED 6" SANITARY SEWER SERVICE FROM PROPOSED BUILDING TO PROPOSED SEPTIC TANK
- 10 PROPOSED 2000 GALLON SEPTIC TANK
- 11 PROPOSED ELECTRIC METER/SWITCH GEAR
- 12 PROPOSED SHARED FRANCHISE UTILITY TRENCH
- 13 PROPOSED CATCH BASIN INLET
- 14 PROPOSED DRAINAGE POND
- 15 PROPOSED UNDERGROUND STORM DRAIN PIPE TO ROUTE ROOF RUNOFF TO STORM INFILTRATION FACILITY

UTILITY LEGEND

- |          |  |
|----------|--|
| —        | PROPERTY LINE  |
| — 8"SS — | PROPOSED SEWER LINE (SIZE AS NOTED)                        |
| — 2"W —  | PROPOSED WATER LINE (SIZE AS NOTED)                        |
| — 6"FW — | PROPOSED FIRE WATER/SPRINKLER LINE (SIZE AS NOTED)         |
| — 8"SD — | PROPOSED STORM DRAIN LINE (SIZE AS NOTED)                  |
| — 4"C —  | PROPOSED POWER CONDUIT (SIZE & QUANTITY AS NOTED)          |
| — 4"C —  | PROPOSED COMMUNICATIONS CONDUIT (SIZE & QUANTITY AS NOTED) |
| ⬢        | PROPOSED FDC   |
| ▣        | PROPOSED WATER METER/DCVA BOX                              |
| ▣        | PROPOSED DOUBLE GRATE CATCH BASIN ASSEMBLY                 |
| ●        | PROPOSED CLEANOUT ASSEMBLY (SIZE AS NOTED)                 |



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**C3.1**

UTILITY PLAN



REED ROAD

SITE PLAN GENERAL NOTES

- A. SIDEWALKS/RAMPS SHALL BE CONSTRUCTED TO THE REQUIREMENTS:
1. MAXIMUM CROSS SLOPE: 1:50
  2. MAXIMUM SLOPE OF SIDEWALKS: 1:20
  3. MAXIMUM SLOPE OF RAMPS: 1:12
  4. MAXIMUM SLOPE OF ACCESSIBLE PARKING STALL: 2% IN ANY DIRECTION
  5. 2% MAXIMUM SLOPE FOR 5' IN DIRECTION OF TRAVEL AT ALL BUILDING ENTRANCES
- B. THE CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS AND THE CONTRACT DOCUMENTS
- C. THE CONTRACTOR AND SUBCONTRACTORS SHALL LIMIT STORAGE OF MATERIALS AND PORTABLE FIELD OFFICES WITHIN THE AREA APPROVED BY THE AHJ & OWNER
- D. GENERAL CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE OR DISRUPT EXISTING UTILITIES, INCLUDING DRAINS, WHILE EXCAVATING OR GRADING. CONFIRM LOCATION OF EXISTING UTILITIES ON ADJACENT PROPERTIES.
- E. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE GOVERNING AUTHORITY IN VERIFYING THE LOCATION OF EXISTING SANITARY AND STORM SEWER, WATER, NATURAL GAS, ELECTRICAL, FIBER OPTIC, TELEPHONE, OVERHEAD POWER LINES, AND OTHER UTILITY SYSTEMS BOTH ON SITE AND OFF SITE. THE CONTRACTOR SHALL COMPARE UTILITY INFORMATION WITH THE CONTRACT DOCUMENTS. IF A CONSTRUCTION CONFLICT IS DISCOVERED BETWEEN THE UTILITY INFORMATION OBTAINED AND THE CONTRACT DOCUMENTS NOTIFY THE ARCHITECT IMMEDIATELY.
- F. THE CONTRACTOR SHALL MAINTAIN FIRE TRUCK ACCESS TO THE SITE THROUGHOUT THE CONSTRUCTION PROCESS UNLESS AN ALTERNATE PLAN IS APPROVED BY THE FIRE DEPARTMENT.
- G. ALL LANDSCAPE SHOWN PER AS102.

SITE PLAN LEGEND

---	PROPERTY LINE
---	ACCESSIBLE PATH OF TRAVEL
---	EXISTING FENCE: TO REMAIN
EXIT	BUILDING EXIT

SITE PLAN KEYNOTES

- #
1. BICYCLE PARKING RACK (4 SPACES) STANDARD INVERTED U-SHAPE BIKE RACKS
  2. SNOW STORAGE AREA
  3. CONCRETE WHEEL STOP
  4. BOLLARD PER 5/AS501
  5. KNOX BOX LOCATION

PROJECT DATA

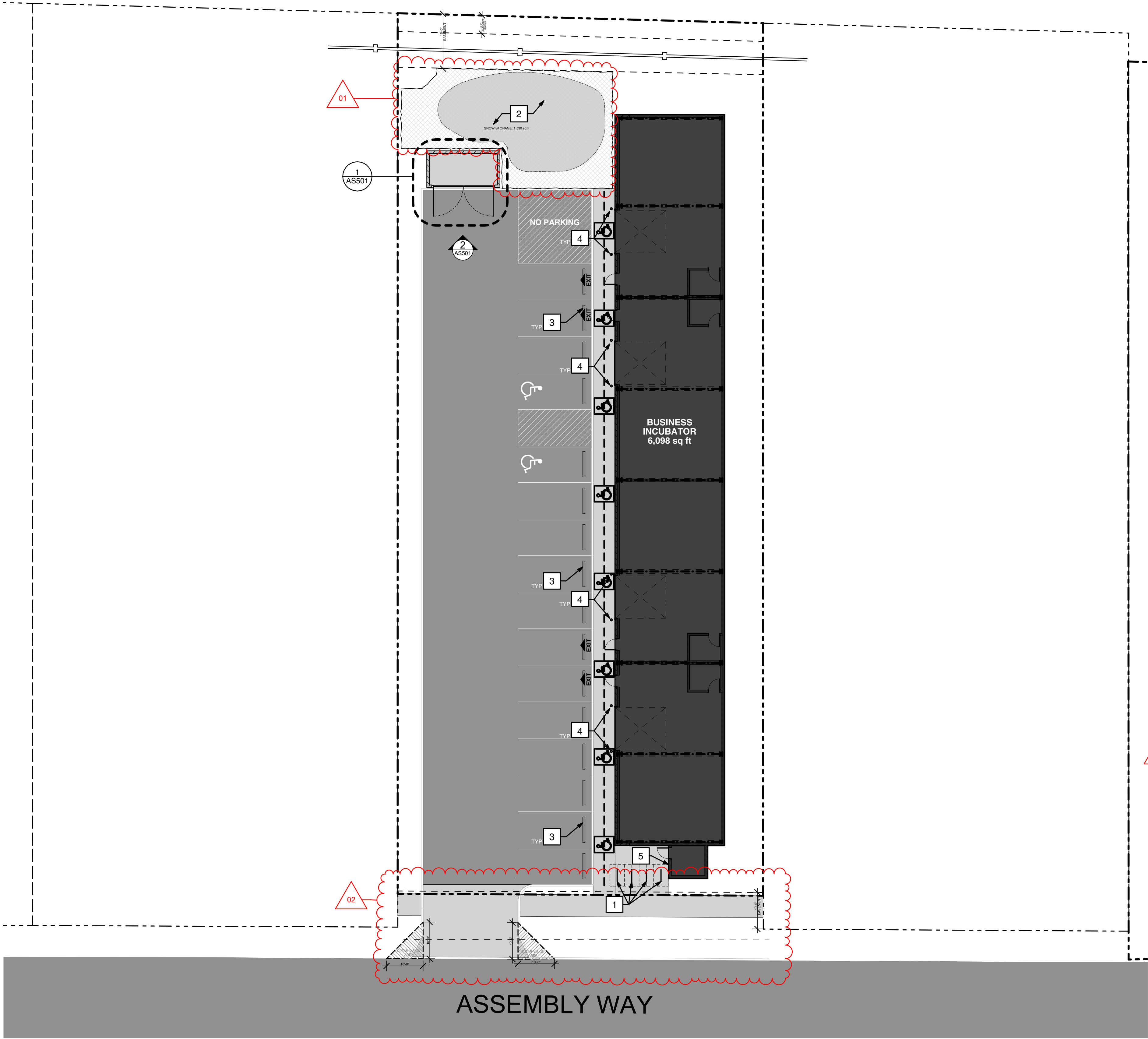
ZONING:	I - INDUSTRIAL
SITE AREA:	24,899 SQ FT
BUILDING USE:	SHOP, WAREHOUSE
BUILDING CODE:	2022 OSSC
OCC. GROUP:	F-1 MODERATE HAZARD
CONSTRUCTION TYPE:	VB
FIRE SPRINKLERS:	FULLY SPRINKLERED

SITE COVERAGE ANALYSIS

TOTAL LOT AREA: 23,980 SQ FT
STRUCTURES: 6,115 SQ FT (24.5%)
LANDSCAPING: 7,259 SQ FT (30.27%)
- 3,629.5 SQ FT MINIMUM NON-LIVING MATERIAL (50%)

SNOW STORAGE

REQUIRED 15% OF SITE AREA TO BE CLEARED
10,205 SQ FT x 15% = 1,530 SQ FT



1 SITE PLAN  
1/16" = 1'-0"



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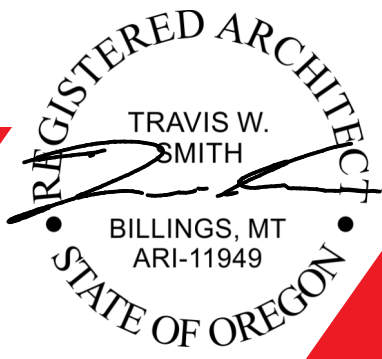
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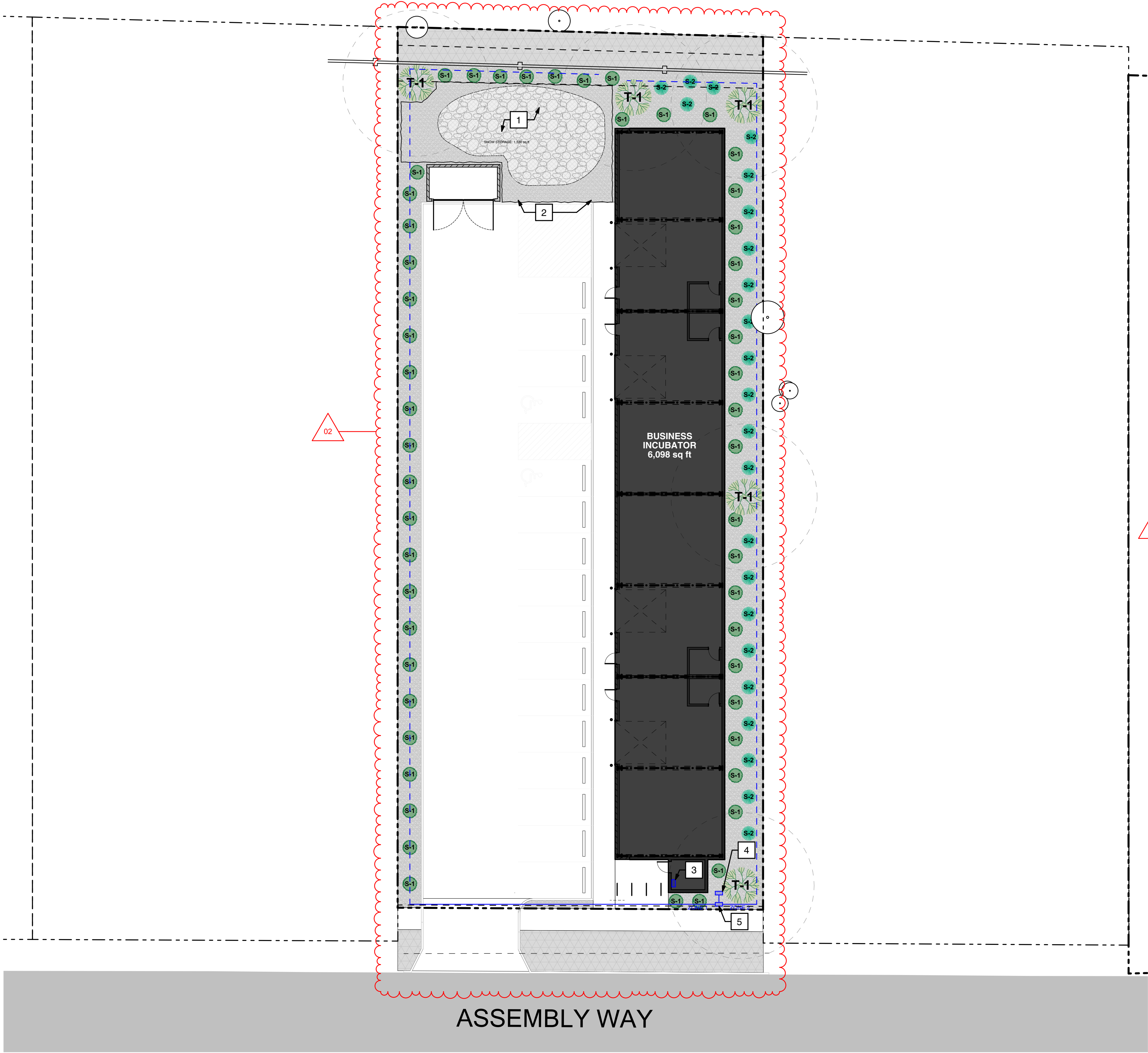


AS101

SITE PLAN



REED ROAD



LANDSCAPING GENERAL NOTES

- A. ALL IN GROUND IRRIGATION TO BE HIGH EFFICIENCY DRIP EMITTERS TO PLANTING BEDS.
- B. INSTALLED PLANT MATERIALS SHALL BY PROPERLY GUYED & STAKED AT TIME OF PLANTING:
- 1.) **SHRUBS:** SHALL BE SUPPLIED IN ONE GALLON (MIN) OR SIX INCH BURLAP BALLS WITH A MINIMUM SPREAD OF 12".
- 2.) **TREES:** SHALL BE A MINIMUM OF 6'-0" IN HEIGHT & FULLY BRANCHED.
- C. ALL PLANTINGS INSTALLED IN THE DESIGNATED CLEAR VISION AREAS ARE NOT TO EXCEED 3'-6" IN HEIGHT AT FULL MATURITY.

LANDSCAPING LEGEND

	DRAINAGE POND PER CIVIL
	NATIVE LANDSCAPING (TO REMAIN)
	ALL-SEASON GROUNDCOVER VEGETATION 01
	EXISTING PLANTING / TREE TO REMAIN
	<b>S-1: SHRUB PLANTING</b> - ORNAMENTAL GRASS: CALAMAGROSTIS X ACUTIFLORA 'KARL FOERESTER' / FEATHER REED GRASS
	<b>S-2: SHRUB PLANTING</b> - ORNAMENTAL GRASS: FESTUCA GLAUCA 'BOULDER BLUE' / BOLDER BLUE FESCUE
	<b>T-1: TREE PLANTING</b> - STREET TREE: 1.5" CALIPER NORWAY MAPLE
	1" PVC IRRIGATION LINE
	1/2" FLEX TO DRIP IRRIGATION LINE

LANDSCAPING KEYNOTES

1. DRAINAGE POND PER CIVIL
2. SNOW STORAGE AREA, NO PROPOSED LANDSCAPING WITHIN BOUNDARY
3. IRRIGATION TIMER
4. 1" IRRIGATION BACKFLOW DEVICE, CONNECT TO IRRIGATION WATER SERVICE PER CIVIL
5. IRRIGATION VALVE CONTROLS

1 LANDSCAPING PLAN  
1/16" = 1'-0"



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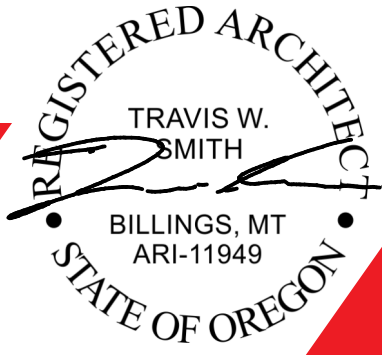
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**AS102**

LANDSCAPING PLAN