

## Community Development Department PO Box 2460 16345 Sixth Street La Pine, Oregon 97739

Phone: (541) 536-1432 Fax: (541) 536-1462

Email: info@lapineoregon.gov

## Site Plan Application

File Number #
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		T IN EQUIL A TI		
PROPERTY OWNER	AND APPLICAN	IT INFORMATIO	ON	
Applicant Name Foundation for Affordable Ho	using Phone 541-	-610-2324_ Fax		
Address 69 NW Newport Avenue Suite 200	City Bend	State OR	_ Zip Code <u>97703</u>	
Email katy@ffah.org				
Property Owner Deschutes County	Phone <u>(</u> 541	) 385-1414 Fax		
Address PO BOX 6005 City Bend State OR Zip Code 97708				
Email kristie.bollinger@deschutes.org				
PROPI	ERTY DESCRIPT	ION		
Property Location (address, intersection of o	cross street, gene	ral area)		
Tax lot number: T-15 R-13 Section	Tax Lot(s) 21	1036AD00100		
010/			1.12 (Acres)	
Describe Project (i.e. type of use, hours of constraints) 3-story, 39-unit affordable multi-family apart		•	,	
PROJ	ECT DESCRIPTION	ON		
Please give a brief description of the project	: Workforce and vete	eran housing		



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PROFESSIONAL SERVICES				
Architect/Designer/Engineer Jim Landin/LRS Architects Phone 541 /771-6286 Fax / Address 1777 SW Chandler Ave, Suite 270 City Bend State OR Zip Code 97702 Email jlandin@Irsarchitects.com				
FOR OFFICE USE ONLY  Date Received: Rec'd By: Fee Paid: Receipt #:				
CHECKLIST				
REQUIRED ITEMS TO BE SUBMITTED FOR SITE AND DESIGN REVIEW.				
Note: additional information may be required depending on the actual project.				
<ul> <li>□ Complete Application. The application <i>must be signed by the property owner and the applicant</i>.</li> <li>□ Mailing labels with all addresses within 100 feet of the property – obtained from title company</li> </ul>				

□ Vicinity map.

by 17" in size.

Fee Schedule (please see attached).

folded individually, 8 ½" X 11" or 11" by 17" in size.

Trip Generation statement prepared by a professional transportation planner or equivalent. 5 copies, Note: if more than 200 ADT result (or at the discretion of the City Engineer), a Traffic Impact Study may be required.

Title Report or Subdivision Guarantee verifying ownership, including legal description of land.

Site and Landscape plan; Building Elevations; one (1) full sized copy of each which must be

Floor plans, one (1) copy for each building which must be folded individually, 8 1/2" X 11" or 11"



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	that a	Preliminary Grading and Storm Drainage Plan, including drainage calculations demonstrating hat all storm water will be retained on site in compliance with the Central Oregon Stormwater Manual (COSM)			
	-Fire /	onse regarding compliance with the 2014 Fire Code, specifically: Apparatue Access Road Requirements as per OFC Section 503 & Appendix D Protection Water Supplies as per OFC Section 507, Appendix B & C			
		e Checklist items must be submitted electronically to the Planning Director at nel@lapineoregon.gov (Word, Jpeg or PDF).			
SITE F	PLAN				
		Project name, scale (not to exceed 1" = 50'), north arrow.			
		Date the site plan is prepared.			
		Street names and locations of all existing and proposed streets, curbs, and sidewalks within or adjacent to the proposed development. Show distance to centerline of street.			
		Zoning of each adjacent property.			
		Square footages by use – existing and proposed (storage, office, meeting, etc.)			
		Percentage of lot coverage and square footage by;  a) structures b) recreation areas c) landscaping d) non-permeable surfaces (including parking areas, access aisles)			
		Total number of parking spaces (existing and proposed).			
		Total landscaped area square footage (existing and proposed).			
		All vehicle and pedestrian access points and paths.			
		Location of all proposed and existing buildings, fences and structures within the project area. Indicate which ones are to remain and which are to be removed.			
		Location and size of all public utilities in and adjacent to the site, including: <ul><li>a) Water lines and meter sizes.</li><li>b) Sewers, manholes and cleanouts.</li><li>c) Storm drains and catch basins.</li></ul>			
		The proposed location of:  a) Connection to the City water system. b) Connection to the City sewer system. c) The proposed method of drainage of the site. d) Postal box locations, if more than 7 units are proposed.			
		Location of existing canals and laterals.			
		Retention of on-site drainage.			
		Existing easements on the property.			



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		Location and size of any public areas within the development.				
		All fire hydrants, existing and proposed, within 500 feet of the site.				
		A topographic map of the site if the slope of the site exceeds 5%.				
		Locations of all existing natural features including trees, natural drainage ways, rock outcroppings, et cetera.				
BUILDI	NG EL	<u>EVATIONS</u>				
		Drawings or sketches of all four views of each new structure.				
		Building materials, colors (fascia, doors, trim, etc.), pitch of roof, shape and other design features of the building(s).				
		All exterior mechanical devices.				
LANDS	CAPE	PLAN (may be included on the site plan for smaller projects)				
		Tree and plant species.				
		Tree and plant sizes (new only).				
		All trees having a six inch trunk diameter 3' above grade or greater shall be shown on the landscape plan.				
		Location/placement of existing and proposed vegetation to be retained, planted or removed.				
		Approximate location of irrigation lines, and type of irrigation system to be used.				
FLOOR	PLAN	<u>I</u>				
		All significant rooms within each structure; label or number rooms, including square footage for each room.				
		Electrical / mechanical equipment areas.				
<u>LIGHTI</u>	NG PL	<u>AN</u>				
		All exterior light locations.				
		Brochure, illustration, cut sheet or photo for each light fixture type to be used.				
the su on the other f	bmitta appli act m	this application, the undersigned certifies that he / she has read and understands al requirements stated above. Note: if the applicant makes a misstatement of fact ication regarding ownership, authority to submit the application, acreage, or any aterial relied upon in making a decision, the City may upon notice to the applicant to an applicant's right to a hearing declare the application void.				
Owner:						
		Signature				



May 22, 2024

To the City of LaPine Community Development Department:

Deschutes County, owner of the property located at 52695 Drafter Road in LaPine (TaxLot 211036AD00100), has entered into a Purchase and Sale Agreement with the Foundation for Affordable Housing, Inc. ("the Foundation") for the sale of the property to the Foundation in the fall of 2024.

As the current owner of the above stated property, Deschutes County authorizes the Foundation to submit a land use application to the City of LaPine for the development of Wickiup Station Apartments, a 39-unit affordable housing project, prior to the sale of the property to facilitate the Foundation meeting their funding partners' deadlines.

Please feel free to contact me with any questions.

Thank you,

Kristie Bollinger

**Property Manager** 

## City of La Pine Site Plan Review

**Burden of Proof Narrative** 

**Applicant:** Foundation for Affordable Housing

Tommy Waldron

69 Newport Avenue, Suite 200

Bend, OR 97703

Owner: Deschutes County

Kristie Bollinger PO Box 6005 Bend, OR 97708

Civil Engineer: HWA

**Grant Hardgrave** 

62930 OB Riley Road, Suite 100

Bend, OR 97701

**Traffic Engineer:** Ferguson and Associates, Inc.

Scott Ferguson PO Box 1994

Redmond, OR 97756

Planner: Blackmore Planning and Development Services, LLC

Greg Blackmore 19454 Sunshine Way Bend, OR 97702

**Location:** The property is located in the northeast quadrant of the City of La

Pine, east of Hwy 97 and north of Rosland Road. The property has been assigned the address of 52695 Drafter Road it is identified by

the Deschutes County Tax Assessor as 211036AD00100.

**Request:** Type II Site Plan review for a three story, 40,026 square foot, 39-

unit multi-family development. The design includes one-, two- and three-bedrooms units, ground level community rooms, offices and utility spaces. The project will also include surface parking and

landscaping and access will be taken from Drafter Road.

## I. Applicable Criteria and Procedures:

- 1. City of La Pine Development Code
- ARTICLE 3 ZONING DISTRICTS
  - Chapter 15.22 Commercial and Mixed-Use Zones

- ARTICLE 5 DEVELOPMENT STANDARDS
  - Chapter 15.80 Development Standards, Generally
  - Chapter 15.82 Landscaping, Buffering and Fences
  - o Chapter 15.86 Parking and Loading
  - Chapter 15.88 Access and Circulation
  - o Chapter 15.90 Public Facilities
  - o Chapter 15.94 Improvement Procedures and Guarantees
  - Chapter 15.108.020 Special Use Standards Non-Residential Uses / Campgrounds and recreational vehicle parks
- ARTICLE 7 PROCEDURES
- ARTICLE 8 APPLICATIONS AND REVIEWS
  - o Chapter 15.312 Site Plan Review

#### 2. Senate Bill 1537

Sections 37-41; Housing Land Use Adjustments

#### II. General Facts:

**1. LOCATION:** The property is located in the northeast quadrant of the City of La Pine, east of Hwy 97 and north of Rosland Road. The property has been assigned the address of 52695 Drafter Road it is identified by the Deschutes County Tax Assessor as 211036AD00100.



- **2. EXISTING ZONING AND COMPREHENSIVE PLAN DESIGNATIONS:** The property is zoned and designed Commercial Mixed Use (CMX).
- 3. SITE DESCRIPTION & SURROUNDING USES: The property is 1.11 acres in size and rectangular in shape. The property is vacant and vegetated with native vegetation including antelope bitterbrush and Idaho fescue, along with lodge pole pine trees. Soils consist of NRCS 115A Soil Shananan loamy coarse sand. The property generally level and unimproved. The property is located outside of any FEMA designated floodway and/or floodplain.

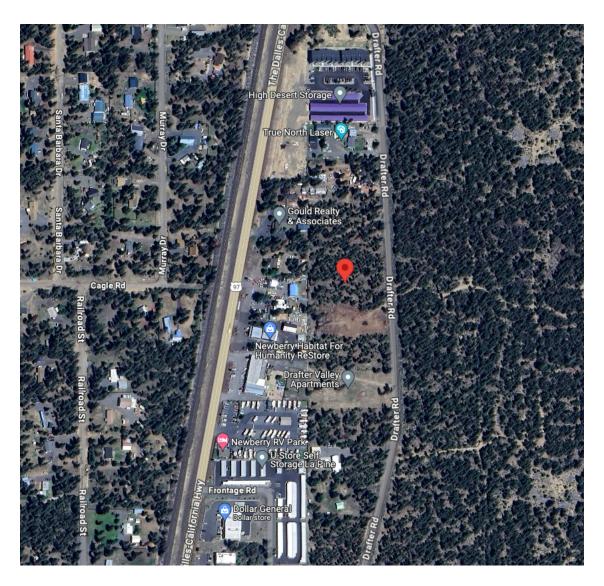
#### <u>Surrounding Zoning -</u> An excerpt from the La Pine Zoning Map is included below:



As shown on the map, the properties to the north, south and west are zoned CMX, and a strip of property to the east (ODOT property) is zoned I. Properties further to the east are zoned CMX.

#### <u>Surrounding Development –</u>

An aerial image documenting the surrounding development is included below:



Amongst this area of La Pine (Hwy 97 to the west Drafter Road to the east), there are a variety of commercial and residential uses, including apartments, storage facilities, retail stores, an RV park, restaurants, gas stations and hotels. The immediately abutting properties are vacant to the north and south and developed with commercial uses to the west.

Drafter Road (abutting the property to the east) is classified as a Minor Collector road and developed within 60 feet of right-of-way. It contains travel lanes without curbs, sidewalks, or bike lanes. An 8-inch water main is located within Drafter Road. A 4-inch sewer main is located at the southwest corner of the property.

**PROPOSAL:** Type II Site Plan review for a three story, 40,026 square foot, 39-unit multi-family development. The design includes one-, two- and three-bedrooms units, ground level community rooms, offices and utility spaces. The project will also include surface parking and landscaping and access will be taken from Drafter Road.

- **5**. **EXHIBITS:** In addition to this burden of proof statement, the applicant submits the following exhibits in support of this proposal:
  - Application Form and Fee
  - Ownership Deed
  - Title Report
  - Architectural Plan Set
    - Cover Sheet
    - o Site Plans
    - Floor Plans
    - o Roof Plan
    - Elevations
    - Color and Material Details
    - Trash Enclosure Details
  - Engineering Plan Set
    - Existing Conditions and Demo Plan
    - Utility Plan
    - o Off-Site Utility Plan
    - Grading and Drainage Plan
  - Landscape Plan
  - Traffic Generation Letter
  - Photometric Analysis
  - Lighting Cut Sheets
- **6. LOT LEGALITY:** The property was platted as Lot 9, Block 1 of the La Pine Meadows No. subdivision and is therefore a lot of record.

### III. Conformance with Procedures, Standards, and Approval Criteria

## A. Article 3 – Zoning Districts:

**Chapter 15.22 – Commercial and Mixed-Use Zones** 

#### 15.22.100 Purpose

Chapter 15.22 regulates allowed land uses ("uses") and sets forth lot and development standards, including minimum dimensions, area, density, coverage, structure height, and other provisions that control the intensity, scale, and location of development in the commercial and mixed-use zones. The regulations of this chapter are intended to implement the City Comprehensive Plan.

**Applicant Response:** This section is a purpose statement; it does not establish any measurable development standards or approval criteria. It is understood that a project that conforms to the standards of this and other sections of the Code will carry out this stated purpose.

#### 15.22.200 Characteristics of the Commercial and Mixed-Use Zones

Commercial zones accommodate a mix of commercial services, retail, and civic uses, along with residential uses permitted in some circumstances. Four commercial zones provide for the full range of commercial land uses within the city. The zoning district regulations are intended to promote the orderly development and improvement of walkable commercial areas; facilitate compatibility between dissimilar land uses; provide employment opportunities in proximity, and with direct connections, to housing; and to ensure efficient use of land and public facilities.

C. Commercial Mixed-Use Zone (CMX). The CMX zone is intended to allow for a wide range of both commercial and residential uses. Unlike the CRMX zone, residential uses are not limited and are allowed to be developed on standalone sites. Some commercial uses that may not be compatible with residential uses are prohibited or limited. The CMX zone allows for flexible uses that can respond to market demand.

**Applicant Response:** The property is zoned Commercial Mixed Use (CMX). As detailed below and documented on the attached Exhibits, the existing lot size, dimensions, proximity to other zones, and public facilities can accommodate the proposed improvements. The proposal adds new use areas and a new building, as well as associated site improvements and parking. As documented on the Plan Set, the property's location allows for an efficient and functional multi-family development and it provides a connection to nearby streets and surrounding uses. The design will allow the development of a needed residential use in a mixed-use area; the proposal is consistent with the desired characteristics of the CMX Zone.

#### 15.22.300 Use Regulations

Uses may be designated as Permitted, Limited, Conditional, or Prohibited in the commercial and mixed-use zones. As noted in Table 15.22-1, a use may also be subject to Special Use Standards of Article 6.

- A. Permitted uses (P). Uses allowed outright in the commercial and mixed-use zones are listed in Table 15.22-1 with a "P." In the C zone, any use that emits fumes or noxious odors, requires an air quality permit from the Oregon Department of Environmental Quality (DEQ), or emits noise beyond 20 decibels (dB) is required to obtain a conditional use permit pursuant to <a href="mailto:chapter 15.316">chapter 15.316</a>, conditional uses...
- C. Conditional uses (CU). Uses which are allowed if approved through the conditional use review process are listed in Table 15.22-1 with a "CU." These uses are allowed, provided they comply with the conditional use requirements of <a href="chapter 15.316">chapter 15.316</a>, conditional uses. Uses listed with a "CU" that also have a footnote number in the table are subject to the regulations cited in the footnote.

*Table 15.22-1. Use Regulations in the Commercial and Mixed-Use Zones* 

Use Category	CMX
Multi-family development	Р

**Applicant Response:** The proposal is for a multi-family development in the CMX Zone. As established in this table, the use is permitted and it does not require Conditional Use Permit review. The use is allowed, subject to its conformance with Site Plan Review standards and criteria.

#### 15.22.400 Development Standards

- A. Purpose. The development standards for commercial and mixed-use zones allow development flexibility, within parameters, that supports the intended characteristics of the specific zone. In addition, the regulations provide guidance to property owners, developers, and neighbors about the limits of what is allowed
- B. Development Standards. The development standards for commercial and mixed-use zones are presented in Table 15.22-2. Development standards may be modified as provided by Chapter 15.320, Variances. Additional standards may apply to specific zones or uses, see Section 15.22.500. Table 15.22-2 Development Standards in the Commercial and Mixed-Use Zones

Standard	СМХ
Minimum lot width	None
Minimum setbacks	

- Front or street-side yard	20 feet
- Side yard	10 feet; None for townhomes
- Rear yard	10 feet
Maximum building height	45 feet
Maximum lot coverage	60%

Minimum landscaped area	See 15.18.500 and Chapter 15.82
Minimum and maximum density	Residential and mixed-use developments are subject to the minimum and maximum density standards of the RMF zone (see Section 15.18.500).

**Applicant Response:** The CMX zone does not have minimum lot size, width, or depth requirements; therefore the lot design elements of this section are met by the existing property. The other standards of this section apply to structural design and are noted below.

<u>Front Yard Setback</u>: The table establishes the minimum front yard setback at 20 feet. The east property line (abutting Drafter Road) is the front property line. The front setback line is detailed on the Plan Set, and as detailed thereupon, the primary building is proposed to be setback over 50 feet from the front property line and the bike shelter is located over 20 feet from the front property line; therefore the design conforms to the minimum front setback standard.

<u>Side Yard Setback</u>: The table establishes the minimum side yard setback at 10 feet. With the east property line being the front property line, the north and south property lines are the side property lines. As detailed on the Plan Set, the building is proposed to be located at least 10 feet from the side property lines.

<u>Rear Yard Setback</u>: The table establishes the minimum rear yard setback at 10 feet. With the east property line being the front property line, the west property line is the rear property line. As detailed on the Site Plan, the building will be located more than 10 feet from the west property line; therefore the proposal conforms to the rear yard setback requirements.

<u>Maximum Building Height:</u> The table indicates that the maximum allowed building height is 45 feet. Furthermore, Section 15.80.050.B of the La Pine Development Code establishes:

B. The following appurtenances attached to or part of a principal or accessory structure: Church spire, belfry, cupola, dome, monument, smoke-stack, derrick, conveyor, flag pole, mast, antenna, aerial, roof tank; ventilating air conditioning and similar building service equipment; roof structure, chimney and/or parapet wall, provided it shall be set back in conformance with the setback and yard requirements plus one foot horizontally for each foot in which it exceeds 45 feet in height above ground level. The principal or accessory structure to which it is attached may conform to setback and yard requirements with no additional setback provided the principal or accessory structure conforms to the height limitations of the zone.

The 45 foot height limit is noted on the Building Elevations. As detailed on the Plan Set, while the building has elements that are as tall as 47'-7 3/4", the only items that exceed 45 feet are cupolas, which are excluded from the building height. The proposed Foundation for Affordable Housing – Wickiup Station Site Plan

building design conforms to the applicable height limit requirements.

<u>Maximum Lot Coverage</u>: As detailed on the Plan Set, with the property is 48,476 square feet in size and the building footprint of the new structure is 14,542.8 square feet. The proposed lot coverage is 30%, which is well less than 60% and conforms to the applicable lot coverage standard.

<u>Minimum landscaped area</u>: As detailed on the Plan Set, the property is 48,476 square feet in size, which requires 9,695 sf of landscaping (20%). As documented on the Plan Set, the proposal will provide 10,710 square feet of landscaping to the site, which is 22.09% of the site and exceeds 20%; the proposal conforms to the applicable landscaping requirements.

<u>Minimum and maximum density</u>: The table establishes, "Residential and mixed-use developments are subject to the minimum and maximum density standards of the RMF zone (see Section 15.18.500)". Section 15.18.500 establishes a minimum density of 5 units per acre and a maximum density of 40 units per acre in the RMF Zone. The current proposal provides 39 units on 1.11 acres of land, which equates to 35.1 units per acre. The proposal density falls within the range that is allowed in the RMF Zone and therefore complies with the applicable density requirement.

#### 15.22.500 Additional Standards

A. Corner Lot Frontages. For commercial uses located on corner lots where one street is predominantly residential, and one street is predominantly commercial, any commercial structure shall front on the street that is predominantly commercial.

**Applicant Response:** The property is not a corner lot and no streets in the area are predominately residential; therefore the proposed access onto Drafter Road conforms to this standard.

B. Landscaping Standard. Any portion of a lot developed for commercial uses which are not used for buildings, other structures, parking or loading spaces, or aisles, driveways, sidewalks, and designated storage areas shall be planted and maintained with grass or other all-season groundcover vegetation. Grass shall be kept neatly mowed. Landscaping with trees and shrubs is permitted and encouraged. See additional landscaping and buffering standards in Article 5.

**Applicant Response:** As detailed on the Plan Set, with the planned improvements, the entirety of the site will be developed with the building, parking areas, landscape areas, and/or other designated use areas. As designed, the proposal conforms to the standards of this section.

#### C. Screening Requirements.

1. Outdoor activities. Any business, servicing, or processing shall be conducted within a completely enclosed building, except for parking and loading facilities and for "drive-in" type establishments offering goods or services to customers waiting in parked motor vehicles.

**Applicant Response:** The application is for a residential use. The use does not include any outdoor business, servicing or processing.

2. Outdoor storage. All areas of a site containing or proposed to contain outdoor storage of materials, equipment, and vehicles, and areas containing junk, salvage materials, or similar contents, shall be screened from view from adjacent rights-of-way and residential uses by a sight-obscuring fence, wall, landscape screen, or combination of screening methods. See additional buffering and fence standards in Article 5.

**Applicant Response:** The proposal does not include the outdoor storage of materials, equipment, vehicles, junk, salvage materials or similar content; therefore additional screening is not necessary.

3. Outdoor merchandise display. The outdoor display of merchandise for sale is not required to be screened from view, provided that all merchandise is located behind building setback lines unless otherwise approved by the City (e.g., to allow sidewalk sales).

**Applicant Response:** The proposal is for a residential use, it does not include any outdoor merchandise display areas.

D. Vehicle Access. Access driveways and entrances shall be permitted in a number and locations in which sight distance is adequate to allow safe movement of traffic in or out of the driveway or entrance, the free movement of normal highway traffic is not impaired, and the driveway or entrance will not create a hazard or an area of undue traffic congestion on highways to which it has access. The City may require the permit applicant to submit engineering data and/or traffic analyses to support its proposed plan of access driveways and entrances. See additional access and circulation standards in Article 5.

**Applicant Response:** As detailed on the Plan Set, the design includes one new primary access point onto the only abutting Street, Drafter Road. The proposed new access point will provide safe and efficient site circulation and provide access to use areas and parking spaces that will conform to City Standards. The proposal conforms to the requirements of this section.

In addition to the primary access point, a secondary access drive is planned, but only

for fire truck circulation.

E. Emissions. No use shall emit any noxious, toxic, or corrosive fumes or gases nor shall it emit any offensive odors.

**Applicant Response:** The proposed residential use of the site is not anticipated to generate or emit any noxious, toxic or corrosive odors, fumes or gases.

F. Noise. All uses shall provide necessary shielding or other protective measures against interference occasioned by mechanical equipment or uses or processes with electrical apparatus.

**Applicant Response:** The proposal will not add any noise producing equipment or uses or processes with electrical apparatus; therefore additional screening or protective measures are not needed.

G. Lighting. All exterior lighting shall be so placed and shielded so as not to create a nuisance for adjacent properties.

**Applicant Response:** Exterior lighting locations are noted on the Architectural Plan Set and the Photometric Analysis, furthermore exterior lighting details are provided on the Specification Sheets. As noted on the referenced exhibits, the propose lighting will be full cut-off and shielded downward, which will ensure that it is placed and shielded in a way that does not to create any nuisance. Final lighting plans will be provided with the Building Permit Plan Set.

### B. Article 5 – Development Standards

Chapter 15.80 - Development Standards, Generally

15.80.010 Purpose

Article 5 contains development and design standards for the built environment. The standards are intended to protect the public health, safety, and welfare through the provision of landscaping and buffering, parking and loading facilities, multimodal accessibility and interconnectivity, and adequate public facilities.

In interpreting and applying this title, the provisions herein shall be held to be the minimum requirements adopted for the promotion of the public health, safety, comfort, convenience, and general welfare.

**Applicant Response:** This section establishes the purpose of these General Development Standards. This section does not include any approval criteria or development standards to measure compliance with. Compliance with the standards of this section will ensure that the Purpose stated herein is implemented.

#### 15.80.020 Applicability

Any land division or development, and the improvements required therefore, shall be in compliance with the development, design and improvement standards and requirements set forth in this Article. Other provisions of this Code, other city ordinances, or state statutes or administrative rules may also apply.

**Applicant Response:** The proposal includes new development; therefore this section applies.

15.80.030 Exemption - Lot Size Requirements...
15.80.040 Exemption - Yard or Setback Requirements...

**Applicant Response:** The proposal does not request an exception to lot size or setbacks. Therefore these sections do not apply.

Sec. 15.80.050. - Supplementary height regulations.

The maximum height limitations shall not apply to:

A. The following principal structures: Church, college, farm structure (other than a farm dwelling), hospital, radio or television tower, exhaust stack, emergency services structure, or public utility structure which is a permitted use and is located in any zone, provided it shall conform to the setback and yard requirements of the zone where it is located plus one additional foot horizontally for each foot over 45 feet in height.

**Applicant Response:** The proposal does not include any of the uses identified in this section.

B. The following appurtenances attached to or part of a principal or accessory structure: Church spire, belfry, cupola, dome, monument, smoke-stack, derrick, conveyor, flag pole, mast, antenna, aerial, roof tank; ventilating air conditioning and similar building service equipment; roof structure, chimney and/or parapet wall, provided it shall be set back in conformance with the setback and yard requirements plus one foot horizontally for each foot in which it exceeds 45 feet in height above ground level. The principal or accessory structure to which it is attached may conform to setback and yard requirements with no additional setback provided the principal or accessory structure conforms to the height limitations of the zone.

**Applicant Response:** As detailed above, the 45 foot height limit is noted on the Building Elevations. As detailed on the Plan Set, while the building has elements that are as tall as 47'-7 ¾", the only items that exceed 45 feet are cupolas and pursuant to the provisions of this section, cupolas are excluded from the building height measurement. The proposed building design conforms to the applicable height limit requirements.

15.80.060 Restrictions on the Use of Metal Shipping Containers...

**Applicant Response:** The design does not include metal shipping containers. This section does not apply.

**Chapter 15.82 - Landscaping, Buffering and Fences** 

15.82.010 Landscaping and Buffering Requirements

The following minimum landscape requirements are established for all developments subject to site plan approval, unless approved otherwise by the reviewing authority.

A. Exemption....

**Applicant Response:** No exceptions to this section are being requested.

- B. Area required. Except as approved otherwise by the City, the following minimum percent of a parcel area shall be landscaped for the following uses:
  - 2. Multi-family dwelling complexes containing four or more units and commercial residential mixed uses (CRMX): 20 percent...

**Applicant Response:** As detailed on the Plan Set, the design provides 10,710 square feet of landscaping on the 48,476 square foot site, which equates to 22.09% of the site. The amount of landscaping that is proposed exceeds the required minimum; therefore the proposal conforms to these standards.

C. Landscaping defined. Required landscaping may include, but is not limited to, a combination of any of the following materials: living plant material such as trees, shrubs, groundcover, flowers and lawn (including native vegetation); and nonliving materials such as benches, walkways and courtyards, consisting of brick, decorative rock or other decorative materials. The total amount of nonliving materials (including bark dust, chips, aggregate, or other non-plant ground covers) shall not exceed more than 50 percent of the required landscape area.

**Applicant Response:** The Applicant proposes landscaping to be irrigated and to include living plant material such as trees, shrubs, groundcover, flowers and grasses (including native vegetation); and nonliving materials such as benches, walkways and courtyards, consisting of decorative rock or other decorative materials. Furthermore, the amount of non-plant ground cover will not exceed 50% of the landscaping; therefore the proposal conforms to these standards. The applicant proposes to provide the City with a final landscape plan prior to installation and to install all landscaping prior to initiation of use in the new area.

D. Existing vegetation. Existing site vegetation may be utilized to the

maximum extent possible consistent with building placement and the applicable proposed landscape plan.

**Applicant Response:** As detailed on the Plan Set, in order to accommodate the planned development, the trees will need to be removed.

E. Parking lots. Parking lots with space for ten or more vehicles must be landscaped in accordance with the following minimum requirements...

**Applicant Response:** As detailed on the Plan Set, the design includes parking stalls for 48 spaces on the northern side of the site; therefore the standards of this section apply.

- 1. In commercial and residential developments, parking areas shall be divided into bays, and between or at the end of each parking bay a curbed planter containing at least 16 square feet may be required.
- 2. If required, each planter shall contain at least one tree or shrub and ground cover.
- 3. The areas shall be designed to be protected from being damaged by vehicles using the parking area.

**Applicant Response:** As detailed on the Landscape Plan, the parking area includes curbed islands with trees. The proposed design can and will prevent the landscaped areas from being damaged and conform to the requirements of this section.

4. Unless sidewalks are provided adjacent to a structure, customer or resident parking areas should be separated from the exterior wall of a commercial or residential structure by a minimum five-foot strip of landscaping.

**Applicant Response:** As detailed on the Plan Set, a walkway separates the parking spaces from the building; therefore a 5-foot landscape strip is not needed.

5. Where a parking, loading or driveway area serving a multi-family, commercial, industrial or government use abuts a public right-of-way of a collector or arterial street or a local street across from a residential zone, or abuts a residential zone, a screen planting or other approved landscaped planter strip may be required between the parking area and the right-of-way without encroaching into a clear vision area or sidewalk.

**Applicant Response:** As detailed on the Landscape Plan, a 20-foot landscape area will separate the parking area from Drafter Road, to the east. The proposed design carries out the intent of this section and additional landscaping is not needed.

#### F. Buffering and screening.

- Purpose. The purpose of buffering and screening requirements are to reduce the impacts of a proposed use on adjacent uses and zones which provide for different types of uses. The City may waive or reduce the requirements where existing topography or vegetation is appropriate or otherwise negates the effectiveness or intended purpose or benefits of the buffering and screening.
- 2. Where any permitted principal and/or accessory use in a Commercial or Industrial zone abuts any land zoned RSF, RMF, RMP, or TA the following buffer and screening shall be required. These requirements shall apply in instances where such use is being newly developed on vacant land, expanded in floor area by 50% or greater, or removed and a new use developed.
- 3. Within Commercial Zones. A buffer strip at least 10 feet wide shall be provided and maintained along the entire length of a side or rear yard where it abuts an RSF, RMF, RMP, or TA zone...

**Applicant Response:** The property does not abut a RSF, RMF, RMP or TA Zone; therefore additional buffering or screening is not required.

4. Within Industrial Zones....

**Applicant Response:** The property is not located within an Industrial Zone; therefore this standard does not apply.

5. A buffer or screening area may only be occupied by screening utilities and landscaping materials, but the same may be located within the required yard or setback requirements provided vision clearance requirements are complied with.

**Applicant Response:** Buffering or screening areas are not proposed or required; therefore this section does not apply.

6. In lieu of the foregoing requirements, an applicant may provide for landscaping and screening, including plantings, fences, walls, walks and other features designed to afford the same degree of buffering as the standards above. A plan and specifications for an alternative shall be reviewed and approved by the review authority.

**Applicant Response:** The design provides for all required landscaping, buffering and screening; an alternative is not needed.

G. Plant material installation standards. Except as otherwise approved by the city, the following standards shall apply to plant materials and the installation thereof as provided in accordance with the provisions of this section.

- 1. Landscape plant materials shall be properly guyed and staked, and shall not interfere with vehicular or pedestrian traffic or parking and loading.
- 2. Trees shall be a minimum size of six feet in height and be fully branched at the time of planting. 5-6
- 3. Shrubs shall be supplied in one-gallon containers or six-inch burlap balls with a minimum spread of 12 inches.
- 4. Rows of plants should be staggered to provide for more effective coverage.

**Applicant Response:** As detailed on the Landscape Plan, the applicant plans to abide by the installation provisions of this section.

H. Maintenance and plant survival. All landscaping approved or required as a part of a development plan shall be continuously maintained, including necessary watering, weeding, pruning and replacement of plant materials. Except where the applicant proposes landscaping consisting of drought- resistant plantings and materials that can be maintained and can survive without irrigation, landscaped areas shall be irrigated. If plantings fail to survive, it is the responsibility of the property owner to replace them.

**Applicant Response:** The applicant plans to continuously maintain the landscaping. In the event that any plants fail to survive, the applicant will replace them.

#### 15.82.020 Fences and Walls.

The yard and setback requirements of this Development Code shall not be deemed to restrict any otherwise lawful fence, wall, or sign, provided that no fence, wall, or sign shall be located on any right-of-way of a public road.

A. *Materials.* Fences and walls shall not be constructed of nor contain any material that could cause bodily harm, such as barbed wire, broken glass, spikes, or any other hazardous or dangerous materials, except as provided below...

**Applicant Response:** As detailed on the Site Plan, the fences that are proposed on the site will be 4 and 6 feet tall and be vinyl coated chain link fencing. The proposed material type is not designed to cause bodily harm; therefore the proposal conforms to these material provisions.

#### B. Standards.

1. Every fence shall be maintained in a condition of reasonable repair and shall not be allowed to become and remain in a condition of disrepair including noticeable leaning, missing sections, broken supports, non-uniform height, and uncontrolled growth of vegetation.

**Applicant Response:** The applicant plans to maintain the fencing on the site in good condition and will repair any fencing that falls into disrepair.

2. All required swimming pool and hot tub fencing shall be a minimum of four feet in height and be equipped with a self-locking gate that closes automatically.

**Applicant Response:** The proposal does not include a swimming pool or hot tub; therefore this standard does not apply.

3. Fences within a front or street side yard shall also conform to the clear vision requirements at intersections, which further restrict the use or height of sight-obscuring fences.

**Applicant Response:** As detailed on the Plan Set, the fencing is proposed to be located outside of all clear vision areas.

4. In no instance shall a fence extend beyond the property line including into a public right-of-way. It is the responsibility of the property owner to determine the property line.

**Applicant Response:** As shown on the Plan Set, no fencing is planned within the right-of-way.

5. Within residential and commercial zones, fences within the required front yard setback may not exceed four feet in height except that one incidental garden structure (e.g., arbor or gate) not exceeding eight feet in height and six feet in width is allowed within the required front yard provided it does not encroach into a required clear vision area. All other fences in all zones shall not exceed seven feet in height.

**Applicant Response:** No fencing is proposed to exceed 4 feet; the proposed design conforms to the requirements of this section.

6. Other provisions of this Development Code, or the requirements of the roadway authority, may limit allowable height of a fence or wall below the height limits of this section.

**Applicant Response:** To date, no other provisions have been identified, which would further limit the height of a fence or wall.

**Chapter 15.86 - Parking and Loading** 

15.86.0101 Applicability

Off-street loading and vehicle and bicycle parking spaces shall be provided in accordance with the specifications of this Chapter in all zones whenever any new use is established, an existing use is enlarged, or an existing use of land or

structure is changed to a new use. Such new, enlarged, or changed use shall fully comply with the specifications of this Chapter prior to being given a certificate of use and occupancy.

**Applicant Response:** The proposal includes new development; therefore this Chapter applies.

#### 15.86.020 Off-Street Loading

A. Every commercial and industrial use which requires the receipt or distribution of material or merchandise by trucks with a 40-foot or longer wheelbase at a frequency of one or more vehicles per week shall provide off- street loading spaces in sufficient number to adequately serve the number and frequency of vehicle shipping and receiving projected for the use. The applicant shall provide supporting evidence of the projected shipping and receiving and how the number of spaces to be provided will be adequate.

**Applicant Response:** The proposal if for a residential use; it does not include any commercial or industrial uses. This section does not apply.

- B. Where an off-street loading space is required, it shall be large enough to accommodate the largest vehicle that is expected to serve the use without obstructing vehicles or pedestrian traffic on adjacent streets and driveways. Each off-street loading space shall not be less than 12 feet wide by 55 feet long unless otherwise approved by the City through Site Design Review.
- C. Off-street loading space(s) shall also have adequate adjacent area for vehicle maneuvering so that vehicles using the space(s) are not required to back-up onto or back-up from a public street or alley to use the space. Where parking areas are prohibited between a building and the street, loading areas are also prohibited.
- D. Exceptions and Adjustments. The City, through Site Design Review, may approve a loading area adjacent to or within a street right-of-way where it finds that loading and unloading operations are short in duration (i.e., less than one hour), infrequent, do not obstruct traffic during peak traffic hours, do not interfere with emergency response services, and are acceptable to the applicable roadway authority.

**Applicant Response:** An off-street loading space is neither required nor proposed. Furthermore, an exception is not being requested; therefore these standards do not apply.

#### 15.86.030 Off-Street Parking - Required

A. Location of off-street loading and parking spaces. Except as otherwise permitted by this Code, required off- street loading and parking spaces shall

be located on the same lot with the principal use they are intended to serve. In no case shall a required loading space be part of the area used to satisfy the parking requirements and vice versa. Also, in no case shall the required loading or parking space(s) of one use be used to satisfy the loading or parking space requirements of another use.

**Applicant Response:** As shown on the Site Plan, all new required parking spaces for the use will be on the property and will not encroach upon any loading area. The design conforms to this standard.

B. Encroachment or reduction. A required loading or parking space shall not be encroached upon by a structure, storage, or other use, nor shall the number of spaces be reduced without replacement of a commensurate number of spaces in accordance with this section unless a special exception or variance has been approved.

**Applicant Response:** As documented on the Plan Set, parking spaces are proposed solely for that use and will not be encroached upon for another purpose. As designed, the proposal conforms to this standard.

- C. Calculations of Amounts of Required and Allowed Parking.
  - 1. When computing parking spaces based on floor area, parking structures and non-leasable floor spaces, such as storage closets, mechanical equipment rooms, and similar spaces, are not counted.
  - 2. The number of parking spaces is computed based on the primary uses on the site except as stated in subsection 3, below. When there are two or more separate primary uses on a site, the minimum and maximum parking for the site is the sum of the required or allowed parking for the individual primary uses. For shared parking, see subsection (I) below.
  - 3. When more than 20 percent of the floor area on a site is in an accessory use, the required or allowed parking is calculated separately for the accessory use. An example would be a 10,000 square foot building with a 7,000 square foot warehouse and a 3,000 square foot accessory retail area. The minimum and maximum parking would be computed separately for the retail and warehouse uses.

**Applicant Response:** This section provides methods for calculation, but no specific standards. The methods identified in this section have been utilized in the preparation of this application.

D. Use of Required Parking Spaces. Except as otherwise provided by this section, required parking spaces must be available for residents, customers, or employees of the use. Fees may be charged for the use of required parking

spaces. Required parking spaces may not be assigned in any way to a use on another site, except for shared parking pursuant to subsection (I).

**Applicant Response:** Parking spaces are planned for the proposed use, consistent with the requirements of this section.

E. Improvement of Parking Areas. Motorized vehicle parking is allowed only on streets with an improved shoulder of sufficient width; within garages, carports, and other approved structures; and on driveways or parking lots that have been developed in conformance with this Code.

**Applicant Response:** The proposed parking spaces are planned within a parking lot. The parking lot and spaces conform to the requirements of the Code and thus with this provision.

- F. Minimum Number of Off-Street Automobile Parking Spaces. Except as required for Americans with Disabilities Act compliance under subsection (L), off-street parking shall be provided pursuant to one of the following three standards:
  - 1. The standards in Table 15.86-1;
  - 2. A standard from Table 15.86-1 for a use that the Planning Official determines is similar to the proposed use. For uses not specified in the table, the City shall determine parking based on submission of technical data from applicant or City sources; or
  - 3. Subsection (H), Parking Exceptions, which includes a Parking Demand Analysis option...

Table 15.86-1. Automobile Parking Spaces by Use				
Use Categories	Use Categories Minimum Parking per Land Use (Fractions are rounded down to the closest whole number.)			
Residential Categories				
Multi-family	One space per dwelling unit			

**Applicant Response:** The referenced table establishes a requirement of one space per unit. The proposed design provides 48 parking spaces for the 39 units. The proposed design exceeds the required minimum and conforms to the standards of this section

G. Maximum Number of Off-Street Automobile Parking Spaces. The following

standards for maximum number of automobile parking spaces promote efficient use of land and compact development patterns.

- 1. Applicability. Developments subject to Site Plan Review must conform to the maximum parking standards.
- 2. Standards. Unless otherwise approved by the City through Site Plan Review, the maximum number of off-street automobile parking spaces allowed per for a commercial development equals the minimum number of required spaces, pursuant to Table 15.86-1 times a factor of 2.0. Parking spaces that are located in snow storage areas do not count toward the maximum parking space requirements.

**Applicant Response:** Table 15.86-1 established a minimum parking requirement of 39; therefore this section allows a up to 78 off-street parking spaces. As detailed on the Plan Set, the design provides 48 off-street parking spaces, which is less than the allowed maximum and conforms to the standards of this section.

H. Exceptions and Reductions to Off-Street Parking...

**Applicant Response:** The proposal does not include any exceptions to the parking standards; therefore these sections do not apply.

I. Shared parking. Required parking facilities for two or more uses, structures, or parcels of land may be satisfied by the same parking facilities used jointly, to the extent that the owners or operators show that the need for parking facilities does not materially overlap (e.g., uses primarily of a daytime versus nighttime nature; weekday uses versus weekend uses), and, provided that the right of joint use is evidenced by a recorded deed, lease, contract, or similar written instrument establishing the joint use. Shared parking requests shall be subject to review and approval through site plan review.

**Applicant Response:** The shared parking standards of this section addresses the joint uses of parking spaces by uses or buildings that would utilize a space (or spaces) at differing times. Shared parking as contemplated by this section is not needed to meet a minimum standard and shared parking is not proposed with this application. This section does not apply.

J. Parking Stall Design and Minimum Dimensions. Where a new off-street parking area is proposed, or an existing off-street parking area is proposed for expansion, the entire parking area shall be improved in conformance with this Code. At a minimum the parking spaces and drive aisles shall be paved with asphalt, concrete, or other City-approved materials, provided the Americans with Disabilities Act requirements are met, and shall conform to the minimum dimensions in Table 15-86-2 and the figures below. All off-street parking areas shall contain wheel stops, perimeter curbing, bollards, or other edging as required to prevent vehicles from damaging buildings or encroaching into

walkways, landscapes, or the public right-of-way. Parking areas shall also provide for surface water management.

90°	9'-0"	20.0	24.0	9.0	64.0
	9'-6"	20.0	24.0	9.5	64.0
	10'-0"	20.0	24.0	10.0	64.0

**Applicant Response:** As documented on the Plan Set, all stalls are proposed to be 90 degree stalls and be 9' x 20'. Furthermore, the drive aisles are proposed to be at least 24 feet in width. Also, the submittal is accompanied by a grading and drainage plan. As proposed, the design conforms to the standards of this section.

#### K. Adjustments to Parking Area Dimensions....

**Applicant Response:** The applicant is not proposing any adjustments to parking standards; therefore this section does not apply.

L. Americans with Disabilities Act (ADA). Parking shall be provided consistent with ADA requirements, including, but not limited to, the minimum number of spaces for automobiles, van-accessible spaces, location of spaces relative to building entrances, accessible routes between parking areas and building entrances, identification signs, lighting, and other design and construction requirements.

**Applicant Response:** The planned improvements necessitate 4 ADA parking spaces, which are identified on the east side of the parking area. As proposed, the design conforms to the requirements of this section.

#### 15.86.050 Bicycle Parking

#### A. Exemptions...

**Applicant Response:** The proposal does not include any exceptions to the bike parking standards; therefore this section does not apply.

B. Standards. Bicycle parking spaces shall be provided with new development and, where a change of use occurs, at a minimum, shall follow the standards in Table 15.86-3. Where an application is subject to Conditional Use Permit approval or the applicant has requested a reduction to an automobile-parking standard, the City may require bicycle parking spaces in addition to those in

Table 15.86-3.

#### **Table 15.86 -3 Minimum Required Bicycle Parking Spaces**

Use	Minimum Number of Spaces
Multi-family residential (not required for parcels with fewer than 4 dwelling units)	2 bike spaces per 4 dwelling units

**Applicant Response:** The proposal includes a multi-family residential use with 39 units; therefore the development is required to provide 19.5 bicycle parking spaces. The applicant is proposing 20 bicycle parking spaces, which will be located and installed prior to initiating the use. The proposed design exceeds the requirements of this section.

- C. Design. Bicycle parking shall consist of staple-design steel racks or other Cityapproved racks, lockers, or storage lids providing a safe and secure means of storing a bicycle. At a minimum, bicycle parking facilities shall be consistent with the following design guidelines:
  - 1. All bicycle parking shall be within one hundred (100) feet from a building entrance and located within a well-lit and clearly visible area;
  - 2. Bicycle parking shall be convenient and easy to find. Where necessary, a sign shall be used to direct users to the parking facility;
  - 3. Each bicycle parking space shall be at least two (2) feet by six (6) feet with a vertical clearance of six (6) feet;
  - 4. An access aisle of at least five (5) feet shall be provided in each bicycle parking facility;
  - 5. Bicycle parking facilities shall offer security in the form of either a lockable enclosure in which the bicycle can be stored or a stationary object, i.e., a "rack," upon which the bicycle can be locked. Structures that require a user-supplied lock shall accommodate both cables and U-shaped locks and shall permit the frame and both wheels to be secured (removing the front wheel may be necessary.) Note: businesses may provide long-term, employee parking by allowing access to a secure room within a building.
- D. Hazards. Bicycle parking shall not impede or create a hazard to pedestrians or vehicles, and shall be located so as to not conflict with the vision clearance standards of Section 15.88.040.

**Applicant Response:** As shown on the Plan Set, the bike parking spaces are planned on the east side of the site, in U racks that will be covered by an eave or bicycle shelter. Furthermore the bicycle parking areas will be separated from other use area and they

will be secure. The applicant is proposing to locate and install the racks prior to initiating the use. As designed, the proposal complies with these standards.

#### 15.86.060 Snow Storage Areas

- A. Purpose. The purpose of these standards is to ensure that adequate space is be provided within a development for storage of snow in winter months in order to accommodate space needed for access, circulation, and off-street parking.
- B. Applicability. Snow storage standards apply to all subdivisions and to developments subject to Site Plan review.

**Applicant Response:** The proposal is for Site Plan Review; therefore this section applies.

#### C. Standards.

- 1. Minimum Area. Snow storage areas must be designated on a site plan. The areas must total a minimum of 15% of the area to be cleared, including all access drives, parking areas, and walkways.
- 2. Location. Snow storage is not permitted on landscaped areas, except where these areas are limited to grass or rock cover. Snow storage may be permitted in parking areas provided that the site can still accommodate enough parking spaces to meet minimum off-street parking requirements in winter months. Parking spaces that are located in snow storage areas do not count toward the maximum parking space requirements. It is encouraged that snow storage areas be located away from public view and that additional impervious surface areas are not created for the sole purpose of snow storage.
- 3. Exceptions and Adjustments. The City may reduce or eliminate the required snow storage areas if a snow removal plan is presented which provides a continuous guarantee of removal.

**Applicant Response:** As detailed on the Site Plan, the design includes 18,442 square feet of parking and maneuvering area, thereby requiring at least 2,955 square feet of snow storage area. While 39 parking spaces are required, 48 are provided. The proposed design accommodates snow storage areas in the extra parking spaces, along with landscape areas. As detailed on the Plan Set, the proposed design conforms to the requirements of this section.

#### **Chapter 15.88 - Access and Circulation**

#### 15.88.010 Purpose

Chapter 15.88 contains standards for vehicular and pedestrian access, circulation, and connectivity. The standards promote safe, reasonably direct, and convenient options for walking and bicycling, while accommodating vehicle

access to individual properties, as needed.

**Applicant Response:** This section establishes the purpose of these Development Standards. This section does not include any approval criteria or development standards to measure compliance with. Compliance with the standards of this section will ensure that the Purpose stated herein is implemented.

#### 15.88.020 Applicability

Chapter 15.88 applies to new development and changes in land use necessitating a new or modified street or highway connection. Except where the standards of a roadway authority other than the City supersede City standards, Chapter 15.88 applies to all connections to a street or highway, and to driveways and walkways.

**Applicant Response:** The proposal will necessitate a new access point to the east, onto Drafter Road. The new access point will be developed in conformance with City Standards; therefore this section applies.

#### 15.88.030 Vehicular Access and Circulation

A. Purpose and Intent. Section 15.88.030 implements the street access guidelines of the City of La Pine Transportation System Plan. It is intended to promote safe vehicle access and egress to properties, while maintaining traffic operations in conformance with adopted standards. "Safety," for the purposes of this chapter, extends to all modes of transportation.

**Applicant Response:** This is a purpose statement and it does not provide any measurable development standards or approval criteria.

B. Permit Required. Vehicular access to a public street (e.g., a new or modified driveway connection to a street or highway) requires an approach permit approved by the applicable roadway authority.

**Applicant Response:** Upon approval of this Site Plan, the applicant would pursue any needed Access Permit(s).

C. Traffic Study Requirements. The City, in reviewing a development proposal or other action requiring an approach permit, may require a traffic impact analysis, pursuant to Section 15.90.080, to determine compliance with this Code.

**Applicant Response:** The proposal is supported by a Traffic report that was prepared by Ferguson and Associates, Inc.

D. Approach and Driveway Development Standards. Access management restrictions and limitations consist of provisions managing the number of access points and/or providing traffic and facility improvements that are

designed to maximize the intended function of a particular street, road or highway. The intent is to achieve a balanced, comprehensive program which provides reasonable access as new development occurs while maintaining the safety and efficiency of traffic movement. Intersections, approaches and driveways shall conform to access spacing guidelines in the City of La Pine Transportation System Plan and the roadway authority's engineering standards. In the review of all new development, the reviewing authority shall consider the following techniques or considerations in providing for or restricting access to certain transportation facilities.

- 1. Access points to arterials and collectors may be restricted through the use of the following techniques:
  - Restricting spacing between access points based on the type of development and the speed along the serving collector or arterial.
  - b. Sharing of access points between adjacent properties and developments.
  - c. Providing access via a local order of street; for example, using a collector for access to an arterial, and using a local street for access to a collector.
  - d. Constructing frontage or marginal access roads to separate local traffic from through traffic.
  - e. Providing service drives to prevent overflow of vehicle queues onto adjoining roadways.

**Applicant Response:** Drafter Road carries relatively low volumes for a collector street. Based upon the results of the traffic report and pre-submittal correspondence, it is not anticipated that any of the methods of this section (which *may* be employed) will be utilized.

- 2. Consideration of the following traffic and facility improvements for access management.
  - a. Providing of acceleration, deceleration and right-turn-only lanes.
  - b. Offsetting driveways to produce T-intersections to minimize the number of conflict points between traffic using the driveways and through traffic.
  - c. Installation of median barriers to control conflicts associated with left turn movements.
  - d. Installing side barriers to the property along the serving arterial or collector to restrict access width to a minimum.

**Applicant Response:** The proposal will add a single primary access point onto Drafter Road, in an area that does not have heavy traffic levels and the access point is proposed to be installed in conformance with City Standards. The secondary access is for fire/emergency vehicles only. The design has been studied by the Traffic Engineer and been determined to be safe and efficient. Based upon the result of the Traffic Report and pre-submittal correspondence with City Staff, it is not anticipated that any restrictions will be imposed upon the planned access point.

- E. ODOT Approval. Where a new approach onto a state highway or a change of use adjacent to a state highway requires ODOT approval, the applicant is responsible for obtaining ODOT approval. The City may approve a development conditionally, requiring the applicant first obtain required ODOT permit(s) before commencing development, in which case the City will work cooperatively with the applicant and ODOT to avoid unnecessary delays.
- F. Other Agency Approval. Where an approach or driveway crosses a drainage ditch, canal, railroad, or other feature that is under the jurisdiction of another agency, the applicant is responsible for obtaining all required approvals and permits from that agency prior to commencing development.

**Applicant Response:** The proposal does not include a new access point onto an ODOT facility or across and area under the jurisdiction of another agency; therefore these standards are not applicable.

G. Exceptions and Adjustments. The City may approve adjustments to the spacing standards of subsections above, where an existing connection to a City street does not meet the standards of the roadway authority and the proposed development moves in the direction of code compliance.

**Applicant Response:** No exceptions or adjustments are being requested; therefore this section does not apply.

H. Joint Use Access Easement and Maintenance Agreement. Where the City approves a joint use driveway, the property owners shall record an easement with the deed allowing joint use of and cross access between adjacent properties. The owners of the properties agreeing to joint use of the driveway shall record a joint maintenance agreement with the deed, defining maintenance responsibilities of property owners. The applicant shall provide a fully executed copy of the agreement to the City for its records, but the City is not responsible for maintaining the driveway or resolving any dispute between property owners.

**Applicant Response:** The design does not include a joint use driveway; therefore an easement and/or maintenance agreement is not needed.

15.88.040 Clear Vision Areas (Visibility at Intersections)

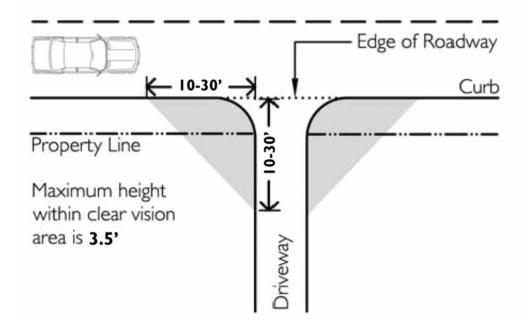
A. In all zones, a clear vision area shall be maintained on the corners of all Foundation for Affordable Housing – Wickiup Station Site Plan
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property at the intersection of two streets or a street and a railroad. A clear vision area shall contain no planting, wall, structure, private signage, or temporary or permanent obstruction exceeding three and one-half feet in height, measured from the top of the curb or, where no curb exists, from the established street centerline grade, except that trees exceeding this height may be located in this area provided all branches and foliage are removed to a height of eight feet above the grade.

- B. A clear vision area shall consist of a triangular area on the corner of a lot at the intersection of two streets or a street and a railroad (see Figure 18.88-1). Where lot lines have rounded corners, the specified distance is measured from a point determined by the extension of the lot lines to a point of intersection. The third side of the triangle is the line connecting the ends of the measured sections of the street lot lines. The following measurements shall establish clear vision areas within the City.
  - 1. In an agricultural, forestry or industrial zone, the minimum distance shall be 30 feet; or at intersections including an alley, 10 feet.
  - 2. In all other zones, the minimum distance shall be in relationship to street and road right of way widths as follows:

Right of way Width Clear vision 80 feet or more 20 feet Less than 80 feet 30 feet

Figure 15.88-1. Clear Vision Areas



**Applicant Response:** This section only references the intersections of streets or an intersection of a street and a railroad. The provisions of this section do not apply to the subject property.

#### 15.88.050 Pedestrian Access and Circulation

A. Purpose and Intent. This section implements the pedestrian access and connectivity policies of City of La Pine Transportation System Plan and the requirements of the Transportation Planning Rule (OAR 660-012). It is intended to provide for safe, reasonably direct, and convenient pedestrian access and circulation.

**Applicant Response:** This is a purpose statement and it does not provide any measurable development standards or approval criteria.

- B. Standards. New subdivisions, multi-family developments, planned developments, commercial developments and institutional developments shall conform to all of the following standards for pedestrian access and circulation:
  - 1. Continuous Walkway System. A pedestrian walkway system shall extend throughout the development site and connect to adjacent sidewalks, if any, and to all future phases of the development, as applicable.

**Applicant Response:** As documented on the Plan Set, the design includes walkways that extend from the Drafter Road right-of-way to the building and around the site. Furthermore, walkways connect parking areas to the building, to all use areas and throughout the site. The proposed design conforms to the standards of this section by making practical connections throughout the development area.

- 2. Safe, Direct, and Convenient. Walkways within developments shall provide safe, reasonably direct, and convenient connections between primary building entrances and all adjacent parking areas, recreational areas, playgrounds, and public rights-of-way conforming to the following standards:
  - a. The walkway is reasonably direct. A walkway is reasonably direct when it follows a route that does not deviate unnecessarily from a straight line or it does not involve a significant amount of out-ofdirection travel.

**Applicant Response:** As shown on the Site Plan, the proposed development provides walkable areas that extend in a relatively straight fashion, from the building entrances to throughout the property, and to the sidewalks in the abutting street. As proposed, the design conforms to this standard.

b. The walkway is designed primarily for pedestrian safety and convenience, meaning it is reasonably free from hazards and provides a reasonably smooth and consistent surface and direct

route of travel between destinations. The City may require landscape buffering between walkways and adjacent parking lots or driveways to mitigate safety concerns.

**Applicant Response:** As shown on the Site Plan, walkways are proposed to be maintained for pedestrians. Walkways are proposed to be constructed of concrete and they provide straight lines of travel between site elements, such as from doors to parking areas and/or to the abutting sidewalks. As designed, the proposal conforms to this standard.

c. Vehicle/Walkway Separation. Except as required for crosswalks, per subsection 4, below, where a walkway abuts a driveway or street it shall be raised six inches and curbed along the edge of the driveway or street. Alternatively, the City may approve a walkway abutting a driveway at the same grade as the driveway if the walkway is physically separated from all vehicle-maneuvering areas. An example of such separation is a row of bollards (designed for use in parking areas) with adequate minimum spacing between them to prevent vehicles from entering the walkway.

**Applicant Response:** The site has been designed to avoid drive aisle crossing to the greatest extent possible. Also, the design includes raised curbs and/or curb stops adjacent to the parking spaces and maneuvering areas. The design will separate the parking and maneuvering areas from the walkways. As designed, the proposal conforms to these standards.

d. Crosswalks. Where a walkway crosses a parking area or driveway ("crosswalk"), it shall be clearly marked with contrasting paving materials (e.g., pavers, light-color concrete inlay between asphalt, or similar contrasting material). The crosswalk may be part of a speed table to improve driver- visibility of pedestrians.

**Applicant Response:** The proposed design results in one crosswalk. Which will be constructed of concrete in conformance with this standard.

e. Walkway Construction. Walkway surfaces may be concrete, asphalt, brick or masonry pavers, or other City-approved durable surface meeting ADA requirements. Walkways shall be not less than four feet in width, except that the City may require five- foot wide, or wider, sidewalks in developments where pedestrian traffic warrants walkways wider than four feet.

**Applicant Response:** As shown on the Site Plan, the walkways are proposed to be constructed of concrete, which conforms to the construction standards of this section.

f. Multi-Use Pathways. Multi-use pathways, where approved, shall be 10 feet wide and constructed of asphalt, concrete or other City-

approved durable surface meeting ADA requirements consistent with the applicable City engineering standards.

**Applicant Response:** Multi-use paths are neither proposed nor required; therefore this section does not apply.

**Chapter 15.90 Public Facilities** 

15.90.010 Public Facilities Improvement

Minor betterment, improvements, replacement or reconstruction of existing public facilities such as sewer and water lines, storm water drainage facilities, sidewalks and other pedestrian ways or facilities, bikeways and similar public facilities within rights-of-ways and easements for the purposes existing on or before the effective date of this ordinance, or on contiguous publicly-owned property designated, intended or utilized to support the facilities, or the facilities that are set forth within an adopted public facilities plan or other capital improvement plan duly adopted on or before the effective date of this ordinance, are exempt from permit requirements, unless specifically set forth otherwise.

**Applicant Response:** The proposal does not include the review of public facility improvements outside of a land use process; therefore this section does not apply.

15.90.020 Developer Responsibility for Streets and Other Public Facilities

A. Duties of developer. It shall be the responsibility of the developer to construct all streets, curbs, sidewalks, sanitary sewers, storm sewers, water mains, electric, telephone and cable television lines necessary to serve the use or development in accordance with the specifications of the city and/or the serving entity.

**Applicant Response:** A water main exists within the Drafter Road right-of-way and a sewer main is located within an easement at the southwest corner of the site. As detailed on the Plan Set, the design extends water and sewer laterals, along with franchise utilities to the site. Furthermore the design includes sidewalk and roadway improvements within Drafter Road. As detailed on the Plan Set, the design upgrades Drafter Road to the extent needed to accommodate the proposed development and the planned improvements will be constructed to City Standards.

B. Over-Sizing. The City may require as a condition of development approval that sewer, water, or storm drainage systems serving new development be sized to accommodate future development within the area as projected by the applicable facility master plan, and the City may authorize other cost-recovery or cost- sharing methods as provided under state law.

Applicant Response: An 8-inch water main exists within the abutting right-of-way and

a 4-inch sewer main is located in an easement to the southwest. The sewer main along the western property line will be removed and replaced with a 6-inch main. With the noted improvement, the mains will have adequate capacity to accommodate the proposed development, which will be reviewed and confirmed with this Site Plan review process. It is not anticipated that any additional upgrades to the mains will be necessary.

C. Inadequate existing streets. Whenever existing streets, adjacent to, within a tract or providing access to and/or from a tract, are of inadequate width and/or improvement standards, additional right-of-way and/or improvements to the existing streets may be required.

**Applicant Response:** The abutting Drafter Road right-of-way is 60 feet in width. With the proposed development, the applicant will be dedicating 1 foot (31 feet to centerline), which will bring the right-of-way into conformance with the applicable Minor Collector street classification right-of-way width requirement. Also, the applicant proposes improvements in Drafter Road, along the property frontage, including a sidewalk and the widening of the pavement. As proposed, the project enhances the right-of-way abutting the subject property and conforms to the standards of this section.

D. Half streets. Half streets, while generally not acceptable, may be approved where essential to the reasonable development of a proposed land development, and when the City finds it will be practical to require dedication and improvement of the other half of the street when the adjoining property is developed. Whenever a half street exists adjacent to a tract of land proposed for development, the other half of the street shall be dedicated and improved.

**Applicant Response:** The property abuts a full street; the half street provisions of this section are not applicable.

#### 15.90.030 Sewer and Water

A. Sewer and Water Plan Approval. Development permits for sewer and water improvements shall not be issued until the Public Works Director has approved all sanitary sewer and water plans in conformance with City standards.

**Applicant Response:** Water and sewer exist within the vicinity. In order to ensure adequate capacity, an off-site sewer main improvement is proposed, which is noted on the Plan Set. Furthermore, the site is proposed to be developed with water and sewer lateral connections that conform to City Standards and will serve the planned development. The applicant plans to obtain all needed approvals.

B. Inadequate Facilities. Development permits may be restricted or rationed by the City where a deficiency exists in the existing water or sewer system that cannot be rectified by the development and which,

if not rectified, will result in a threat to public health or safety, surcharging of existing mains, or violations of state or federal standards pertaining to operation of domestic water and sewerage treatment systems. The City may require water booster pumps, sanitary sewer lift stations, and other critical facilities be installed with backup power.

**Applicant Response:** As detailed on the Engineering Plan Set, an off-site sewer main improvement is planned to the south. Also, water and sewer laterals will be extended to the site in conformance with City Standards. As designed, the planned facilities will have adequate capacity to accommodate the proposed development. It is not anticipated that development permits will be restricted or rationed due to water or sewer capacity.

#### 15.90.040 Stormwater.

- Accommodation of Upstream Drainage. Culverts and other drainage facilities shall be large enough to accommodate existing and potential future runoff from the entire upstream drainage area, whether inside or outside the development. Such facilities shall be subject to review and approval by the City Engineer.
- 2. Effect on Downstream Drainage. Where it is anticipated by the City Engineer that the additional runoff resulting from the development will overload an existing drainage facility, the City shall withhold approval of the development until provisions have been made for improvement of the potential condition or until provisions have been made for storage of additional runoff caused by the development in accordance with City standards.

**Applicant Response:** Public and private improvements are considered in this review. The Drafter Road improvements are proposed in accordance with City Standards, which will ensure that public stormwater is adequately addressed in the right-of-way. Regarding on-site improvements, the proposal is supported by a drainage plan that documents how drainage will be maintained on-site, through the use of drainage chambers. As proposed, the design conforms to these standards.

#### 15.90.050 Utilities

- A. General Provision. The developer of a property is responsible for coordinating the development plan with the applicable utility providers and paying for the extension and installation of utilities not otherwise available to the subject property.
- B. Underground Utilities. All new electrical, telephone or other utility lines shall be underground unless otherwise approved by the city.

**Applicant Response:** The applicant has coordinated with all utility providers and they Foundation for Affordable Housing – Wickiup Station Site Plan

have confirmation that the providers can and will serve the new development. All new utilities are planned to be extended underground, in conformance with these standards.

#### C. Subdivisions...

**Applicant Response:** The proposal does not include a subdivision, therefore this section does not apply.

D. Exception to Undergrounding Requirement. The City may grant exceptions to the undergrounding standard where existing physical constraints, such as geologic conditions, streams, or existing development conditions make underground placement impractical.

**Applicant Response:** The proposal does not include an exception to providing new utilities underground; therefore this standard does not apply.

15.90.060 Public Street/Highway Improvement.

The following public streets and highway improvement activities are permitted outright in all zones and are exempt from the permit requirements of this Code.

- A. Installation of additional and/or passing lanes, including pedestrian ways and/or bikeways, within a public street or highway right-of-way existing as of the effective date of this chapter, unless such adversely impacts on-street parking capacities and patterns.
- B. Reconstruction or modification of public roads and highways, not including the addition of travel lanes, where no removal or displacement of buildings would occur, and/or no new land parcels result.
- C. Temporary public road and highway detours that will be abandoned and restored to original condition or use at such time when no longer needed.
- D. Minor betterment of existing public roads and highway related facilities such as maintenance yards, weigh stations, waysides, and, rest areas within a right-of-way existing as of the effective date of this Code. In addition, also exempt are contiguous public-owned property utilized to support the operation and maintenance of public roads and highways provided such is not located within a duly designated Residential Zone, or adjacent to or across the street from a lot or parcel within such a zone.
- E. The construction, reconstruction, or modification of a public street or highway that is identified as a priority project in a transportation system plan (TSP) or the State Transportation Improvement Plan (STIP) that was duly adopted on or before the effective date of this chapter.
- F. The design, construction, operation, and maintenance of a tourist-oriented or public wayside.

**Applicant Response:** The proposal includes improvements in the Drafter Road right-of-way. Pursuant to this section, the noted improvements are permitted.

15.90.070 Design of Streets and Other Public Facilities.

A. Traffic circulation system. The overall street system shall assure an adequate traffic circulation system with intersection angles, grades, tangents and curves appropriate for the traffic to be carried considering the terrain of the development and the area. An analysis of the proposed traffic circulation system within the land division, and as such system and traffic generated there from affects the overall City of La Pine transportation, will be required to be submitted with the initial land division review application. The location, width and grade of streets shall be considered in their relationship to existing and planned streets, to topographical conditions, to public convenience and safety and to the proposed use or development to be served thereby.

Applicant Response: The submittal packet is supported by a Traffic Report that has been prepared by Ferguson and Associated, Inc. The Traffic Report considered traffic generated from the proposed development and found that the proposal, with planned improvements, can conform to City Standards. All needed surrounding rights-of-way exist and with this development improvements are proposed within the existing Drafter Road right-of-way. The location, width and grade of the planned improvements that are noted on the Plan Set are consistent with Development Code requirements and City Public Works Standards; therefore the improvements are in proper relationship with the surrounding properties and developed rights-of-way. The proposed design ensures added convenience and safety to the surrounding properties and the community atlarge. The proposal, including planned improvements, will ensure conformance with this standard.

- B. Street location and pattern. The proposed street location and pattern shall be shown on the development plan, and the arrangement of streets shall:
  - 1. Provide for the continuation or appropriate projection of existing principal streets in surrounding areas; or
  - 2. Conform to a plan for the general area of the development approved by the City to meet a particular situation where topographical or other conditions make continuance or conformance to existing streets impractical; and
  - 3. Conform to the adopted La Pine Transportation System Plan as may be amended.

**Applicant Response:** As documented on the Plan Set, the proposed sidewalk improvements will be within the existing (and expanded) Drafter Road right-of-way. The design conforms to the La Pine Transportation System Plan and the topography that exists on the site and surrounding area. As designed, the proposal conforms to these standards.

C. Access Ways. The City, in approving a land use application with conditions, may require a developer to provide an access way where the creation of a cul-de-sac or dead-end street is unavoidable and the access way connects the end of the street to another street, a park, or a public access way. Where an access way is required, it shall be not less than 10 feet wide and shall contain a minimum six-foot-wide paved surface or other all-weather surface approved by the City. Access ways shall be contained within a public right-of-way or public access easement, as required by the City.

**Applicant Response:** The proposal enhances the existing development in the area and does not necessitate additional pedestrian access ways.

#### D. Future street extensions...

**Applicant Response:** The proposal includes improvements in existing right-of-way amongst an established grid. Street extensions are not anticipated in this area; therefore this section does not apply.

E. Minimum right-of-way and roadway widths. Unless otherwise approved in the tentative development plan, street, sidewalk and bike rights-of-way and surfacing widths shall not be less than the minimum widths in feet set forth in the La Pine Transportation System Plan, and shall be constructed in conformance with applicable standards and specifications set forth by the city.

**Applicant Response:** The TSP establishes the following standards:

**Roadway Cross Section Standards** 

Table 4-4 presents the dimensional standards for the five proposed functional classifications in La Pine.

Features/Dimensions (Each Direction) Total On-**Left Turn Total** Right-**Functional** Travel Street **Plante** Lane/ Paved of-Way Classification Parking Width Width Lane Sidewalk r Strip Median Lane Left-Turn 36' to Arterial 12' 6' None 6' 8' Lanes, 14' 50' 78' 34<sup>1</sup> -6'1 7'<sup>2</sup> 6' 11' 8′ **Major Collector** None 48' 76' **Local Street** 11' None 7' 6' 8 None 36' 64' Optional Optional, Landscaped Downtown Arterial 12' 6' 7' 8' 8' Median, 14' 50' 82 **Minor Collector** 11' 6 8' 34' 6' 62' None None Industrial Collector None 40' 52' None None

Table 4-4 Roadway Cross-Section Standards

On low volume, low speed (>30 mph) facilities, alternative bicycle facilities can be considered at the discretion of the City

<sup>&</sup>lt;sup>2</sup>On-street parking provide adjacent to commercially zoned properties

Drafter Road is a Minor Collector street, which is not constructed in conformance with the standards of this section. As detailed on the Plan Set, the applicant proposes a 1 foot right-of-way dedication, a 6 foot sidewalk, an 8 foot planter strip and 34 feet of pavement. The proposed walkway improvements will bring this street into conformance with the standards of this section along the property frontage.

F. Sidewalks. Unless otherwise required in this chapter or other city ordinances or other regulations, or as otherwise approved by the Commission, sidewalks shall be required as specified in the La Pine Transportation System Plan. In lieu of these requirements, however, the City may approve a development without sidewalks if alternative pedestrian routes and facilities are provided.

**Applicant Response:** As documented on the Plan Set, a 6 foot wide sidewalk is planned along Drafter Road, which is consistent with the City of La Pine TSP. As designed, the proposal conforms to this standard.

G. Bike lanes. Unless otherwise required in this chapter or other city ordinances or other regulations, bike lanes shall be required as specified in the La Pine Transportation System Plan, except that the Planning Commission may approve a development without bike lanes if it is found that the requirement is not appropriate to or necessary for the extension of bicycle routes, existing or planned, and may also approve a development without bike lanes in the streets if alternative bicycle routes and facilities are provided.

**Applicant Response:** The abutting road (Drafter Road) is a Minor Collector street and bike lanes are do not currently exits thereupon. Bike lanes are most efficiently established by the City, so that they can serve a usable area (as opposed to randomly placed along newly developed properties). Rather than establishing bicycle lanes at this time (only adjacent to this property), it is anticipated that the City will take on an area-wide project in the future.

#### H. Cul-de-sacs...

**Applicant Response:** The design does not include any cul-de-sacs; therefore this section does not apply.

I. Marginal access streets. Where a land development abuts or contains an existing or proposed arterial street, the city may require marginal access streets, reverse frontage lots with suitable depth, screen- plantings contained in a non-access reservation strip along the rear or side property line or other treatments deemed necessary for adequate protection of residential properties and the intended functions of the bordering street, and to afford separation of through and local traffic.

**Applicant Response:** The site does not contain or abut an Arterial Street; therefore

the marginal street access provisions of this section do not apply.

J. Streets adjacent to railroad right-of-way...

**Applicant Response:** The property is not adjacent to a railroad right-of-way; therefore this section does not apply.

K. Reserve Strips. Reserve strips or street plugs controlling access to streets will not be approved unless deemed necessary for the protection of public safety and welfare and may be used in the case of a dead-end street planned for future extension, and in the case of a half street planned for future development as a standard, full street.

**Applicant Response:** The property is not abutted by a reserve strip and no reserve strips are proposed; therefore this section does not apply.

- L. Alignment...
- M. Intersection angles...
- N. Curves...
- O. Street grades...
- P. Street names...

**Applicant Response:** The proposal includes development adjacent to an existing street right-of-way; the proposal does not modify the existing street alignment, intersection angles, curves, grades or names; therefore the standards of these sections do not apply.

Q. Street name signs. Street name signs shall be installed at all street intersections by the developer in accordance with applicable city, county or state requirements. One street sign shall be provided at the intersection of each street, and two street signs shall be provided at four-way intersections.

**Applicant Response:** Street signs exist in the vicinity of the property and no new streets are proposed. Therefore, the installation of new street signs is not applicable.

R. Traffic control signs. Traffic control signs shall be provided for and installed by the developer as required and approved by the appropriate city, county and/or state agency or department.

**Applicant Response:** The applicant understands that it would be their responsibility to provide and install any required traffic control signs and plans as needed to facilitate the planned improvements. Based upon the traffic report and pre-submittal correspondence, it is not anticipated that any new traffic control signs will be needed.

S. Alleys. Alleys are not necessary in residential developments, but may be required in commercial and industrial developments unless other permanent provisions for access to off-street parking and loading facilities are approved

by the city.

**Applicant Response:** Development is proposed in an area with an established street grid. Access drives will be provided to serve the development site in a manner that allows for access to off-street parking facilities. Alleys are not appropriate or necessary in this area.

T. Curbs. Curbs shall be required on all streets in all developments, and shall be installed by the developer in accordance with standards set forth by the city unless otherwise approved by the city. Approval of streets without curbs shall be at the discretion of the City Engineer, and shall be so determined during the tentative plan land division review process on the basis of special circumstances to the development.

**Applicant Response:** The existing street and surrounding area is developed without curbs. Given the existing design and configuration, and the fact that this section allows the City Engineer to determine if and when curbs are required, it is expected that curbs will not be required at this location.

U. Street lights. Street lights may be required and, if so required, shall be installed by the developer in accordance with standards set forth by the city and the serving utility company. Streets lights, if required, shall include one (1) fixture and be located at the intersection of streets.

**Applicant Response:** The property is not located at the intersection of 2 streets; therefore street light installation is not applicable.

V. Utilities. The developer shall make necessary arrangements with the serving utility companies for the installation of all proposed or required utilities, which may include electrical power, natural gas, telephone, cable television and the like.

**Applicant Response:** The applicant has coordinated with all utility providers and has confirmation that they can serve the property. All new utilities are planned to be extended underground, in conformance with these standards.

W. Drainage facilities. Drainage facilities shall be provided as required by the City in accordance with all applicable City and Oregon Department of Environmental Quality standards.

**Applicant Response:** New public impervious areas that are reviewed with this application include the sidewalk and road improvements in the Drafter Road right-of-way. The planned design conforms to City Standards, which will include infiltration swales in the right-of-way, for the planned public improvements. The design, including the storm water management therein, will accommodate all existing and future run-off within the right-of-way, and will be reviewed by the City Engineer prior to construction. Regarding on-site drainage, as shown on the Drainage Plan, all on-site drainage will be

accommodated in drainage chambers. As designed the proposal conforms to these standards.

X. Gates. Except where approved as part of a Master Planned Development, private streets and gated drives serving more than two dwellings (i.e., where a gate limits access to a development from a public street), are prohibited.

**Applicant Response:** Neither private streets nor gates are proposed. This section does not apply.

### 15.90.080 Traffic Impact Analysis

- A. Purpose. The purpose of this subsection is coordinate the review of land use applications with roadway authorities and to implement Section 660-012-0045(2)(e) of the state Transportation Planning Rule, which requires the City to adopt a process to apply conditions to development proposals in order to minimize impacts and protect transportation facilities. The following provisions also establish when a proposal must be reviewed for potential traffic impacts; when a Traffic Impact Analysis must be submitted with a development application in order to determine whether conditions are needed to minimize impacts to and protect transportation facilities; the required contents of a Traffic Impact Analysis; and who is qualified to prepare the analysis.
- B. When a Traffic Impact Analysis is Required. The City or other road authority with jurisdiction may require a Traffic Impact Analysis (TIA) as part of an application for development, a change in use, or a change in access. A TIA shall be required where a change of use or a development would involve one or more of the following:...
  - 1. A change in zoning or a plan amendment designation;
  - 2. Operational or safety concerns documented in writing by a road authority;
  - 3. An increase in site traffic volume generation by [300] Average Daily Trips (ADT) or more;
  - 4. An increase in peak hour volume of a particular movement to and from a street or highway by [20] percent or more;
  - 5. An increase in the use of adjacent streets by vehicles exceeding the 20,000 pound gross vehicle weights by 10 vehicles or more per day;
  - 6. Existing or proposed approaches or access connections that do not meet minimum spacing or sight distance requirements or are

located where vehicles entering or leaving the property are restricted, or such vehicles are likely to queue or hesitate at an approach or access connection, creating a safety hazard;

- 7. A change in internal traffic patterns that may cause safety concerns; or
- 8. A TIA required by ODOT pursuant to OAR 734-051.

**Applicant Response:** The submittal packet is supported by a Traffic Report that has been prepared by Ferguson and Associates, Inc. The Traffic Report documents conformance with these provisions.

C. Traffic Impact Analysis Preparation. A professional engineer registered by the State of Oregon, in accordance with the requirements of the road authority, shall prepare the Traffic Impact Analysis.

**Applicant Response:** The submittal packet is supported by a Traffic Report that has been prepared by Scott Ferguson of Ferguson and Associates, Inc. Scott Ferguson is a professional engineer registered by the State of Oregon, as depicted by the stamp on the report. The proposal complies with this requirement.

D. Waiver or Deferral. The City may waive or allow deferral of standard street improvements, including sidewalk, roadway, bicycle lane, undergrounding of utilities, and landscaping, as applicable, where one or more of the following conditions in (1) through (4) is met. Where the City agrees to defer a street improvement, it shall do so only where the property owner agrees not to remonstrate against the formation of a local improvement district in the future...

**Applicant Response:** Waiver or deferment is not proposed at this time. These provisions do not apply.

# C. Article 6 - Special Use Standards:

Sec. 15.102.010. - Purpose.

Special uses included in <u>article 6</u> are uses which, due to their effect on surrounding properties, must be developed in accordance with special conditions and standards. These special use standards may differ from the development standards established for other uses in the same zoning district.

**Applicant Response:** This section establishes a purpose, but no measurable development standards or approval criteria.

Sec. 15.102.020. - Applicability.

All uses listed in <u>chapter 15.104</u> and <u>chapter 15.108</u> are subject to the standards of <u>article 6</u>. Special use standards may apply to an entire use category, as described in <u>chapter 15.14</u>, use categories, or a specific use within a use category. The standards of this chapter supplement the other requirements of this article. When a dimensional standard for a special use differs from that of the underlying district, the standard for the special use shall apply...

**Applicant Response:** Multi-Family Developments have special standards (established in Section 15.104.040); this section applies and the referenced section is addressed below.

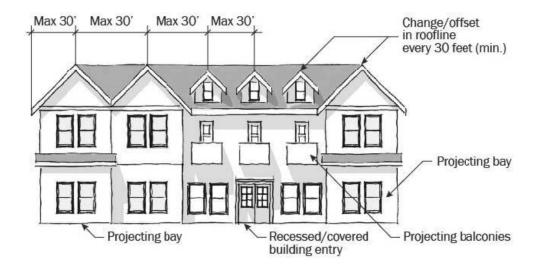
Sec. 15.104.040. - Multi-family development.

A. Applicability. New multi-family developments, where allowed, are subject to review and approval through a Type II procedure, pursuant to chapter 15.312, site plan review, and shall conform to all of the following standards. Multiple detached single-unit dwellings or duplexes located on the same lot are classified as cottage cluster developments and subject to section 15.104.050.

**Applicant Response:** The proposal is for a multi-family development, it is being processed through a Type II review and is subject to Site Plan Review. This section applies.

- B. Standards for multi-family structures.
  - 1. Articulation. Plans for multi-family structures shall incorporate design features such as varying rooflines, offsets, balconies, projections (e.g., overhangs, porches, or similar features), recessed or covered entrances, window reveals, or similar elements that break up otherwise long, uninterrupted elevations (see Figure 15.104-1). Such elements shall occur at a minimum interval of 30 feet, and each floor shall contain at least two elements from the following options:
    - a. Recess (e.g., porch, courtyard, entrance balcony, or similar feature) that has a minimum depth of four feet;
    - b. Extension (e.g., floor area, porch, entrance, balcony, overhang, or similar feature) that projects a minimum of two feet and runs horizontally for a minimum length of four feet; or
    - c. Offsets or breaks in roof elevation of two feet or greater in height.

**Multi-Family Articulation Standard** 



**Applicant Response:** As detailed on the Plan Set, the proposed building contains an efficient, thoughtful and attractive building design. While the building design may not conform to the limited and prescriptive measurements noted in this section, it has plenty of articulation and carries out the intent of this section.



For the items that do not rigidly meet the standards of the La Pine Development Code, given that this project is an affordable housing development, it is able to rely upon the provisions of Oregon Senate Bill 1537, which direct a local government to grant an adjustment to design standards for affordable housing projects in certain circumstances. A comprehensive review of SB 1537 is included below, and as documented therein the proposal conforms to all applicable provisions of the bill. Given that the proposal conforms to the applicable provisions of that bill, the design requirements of this section can be adjusted.

2. Detailed design. All structures shall provide detailed design along all elevations (i.e., front, rear and sides). Detailed design shall be provided by using at least two of the following architectural features on all elevations, as appropriate for the proposed building type and style (may vary features on rear/side/front elevations):

- a. Covered front porch: not less than six feet in depth and not less than 30 percent of the width of dwelling, excluding the landing for dwelling entrance.
- b. Dormers: must be a functional part of the structure, for example, providing light into a living space.
- c. Recessed entrance: not less than three feet deep.
- d. Windows: not less than 30 percent of surface area of all street-facing elevation(s).
- e. Window trim: minimum four-inch width (all elevations).
- f. Eaves: overhang of not less than 12 inches.
- g. Offset: offset in facade or roof (see subsection 1, "Articulation").
- h. Bay window: projects from front elevation by 12 inches.
- i. Balcony: one per dwelling unit facing street.
- j. Decorative top: e.g., cornice or pediment with flat roof or brackets with pitched roof.
- k. Other: feature not listed but providing visual relief or contextually appropriate design similar to [subsections] a—j, as approved by the planning official through a Type II procedure.

### **Applicant Response:** As detailed on the Plan Set:

- The north elevation includes windows, eaves of at least 12", offsets and other features
- The east elevation includes windows, eaves of at least 12", offsets and other features
- The south elevation includes windows, eaves of at least 12", offsets and other features
- The west elevation includes windows, eaves of at least 12", and other features

The proposed design conforms to the requirements of this section.

3. Common open space and landscaping. A minimum of 15 percent of the site area in residential zones shall be designated and

permanently reserved as common area or open space, in accordance with all of the following criteria:

- a. "Site area," for the purposes of this section, is defined as the subject lot or lots after subtracting any required dedication of street right-of-way.
- b. The common area or open space shall contain one or more of the following: outdoor recreation area, tree grove (e.g., existing mature trees), turf play fields or playgrounds, sports courts, swim pool, walking fitness course, natural area with picnic benches, or similar open space amenities as appropriate for the intended residents.
- c. In order to be counted as eligible toward the minimum open space area, such areas shall have dimensions of not less than 20 feet.
- d. Open space and common areas not otherwise developed with recreational facilities shall be landscaped; alternatively, the city may approve a tree preservation plan (retain mature tree groves) in lieu of landscaping.

**Applicant Response:** As detailed on the Site Plan, the site is 48,476 square feet in size and therefore requires 7,272 square feet of common open space. As further detailed on the Site Plan, the design provides 18,783 square feet of common open space, including a playground, garden space and other open areas. The proposed design conforms to the requirements of this section.

- 4. *Private open space.* Private open space areas shall be required for dwelling units based on the following criteria:
  - a. A minimum of 40 percent of all ground-floor dwelling units shall have front or rear patios or decks containing at least 48 square feet of usable area. Ground floor housing means the housing unit entrance (front or rear) is within five feet of the finished ground elevation (i.e., after grading and landscaping).
  - b. A minimum of 40 percent of all upper-floor housing units shall have balconies or porches containing at least 48 square feet of usable area. Upper-floor housing means housing units that are more than five feet above the finished grade.

**Applicant Response:** While the design does provide decks accessed from 3 common areas, the proposed design does not include patios and/or decks accessed from individual units, thus it does not conforms to the standards of this section. Nonetheless,

given that this project is an affordable housing development, it is able to rely upon the provisions of Oregon Senate Bill 1537, which direct a local government to grant an adjustment to design standards. A comprehensive review of SB 1537 is included below. Given that the proposal conforms to the applicable provisions of that bill, the provisions of this section can be adjusted.

5. Landscaping, fences, parking and loading, public facilities. The standards of article 5 shall be met.

**Applicant Response:** A comprehensive review of Article 5 was addressed above. As detailed in that section, the proposal conforms to the applicable provisions of that article; therefore the proposal conforms to this reference provision.

6. Trash storage. Trash receptacles, recycling, and storage facilities shall be oriented away from building entrances, setback at least ten feet from any public right-of-way and adjacent residences, and shall be screened with an evergreen hedge or solid fence or wall of not less than six feet in height. Receptacles must be accessible to trash pick-up trucks.

**Applicant Response:** As detailed on the Site Plan, trash and recycling is planned to be accommodated within an enclosed area on the north side of the parking lot. The proposed location is setback over 10 feet from any public right-of-way, it is not oriented toward an entrance, and it will be screened. Furthermore, the applicant has coordinated with the trash/recycling provider and has confirmed that they are able to serve the site with the proposed design. The proposal conforms to the requirements of this section.

### D. Article 7 - Procedures:

### 15.202.0010 Purpose and Applicability

A. Purpose. The purpose of this chapter is to establish decision-making procedures that will enable the City, the applicant, and the public to reasonably review applications and participate in the local decision-making process in a timely and effective way. Table 15.202-1 provides a key for determining the review procedure and the decision-making body for particular applications.

**Applicant Response:** This section addresses the procedures that will be utilized in the review of this application packet. The procedures do not include any development standards or approval criteria that the applicant needs to document conformance with, instead this sections details how the applications are to be reviewed by the City. The majority of the provisions of this Article direct City Staff, however there are a few sections that identify applicant specific required procedural provisions. The applicant anticipates that the applicable procedures of this section will be followed by City Staff. The procedures of this section that are requirements of the applicant (and those which

could use further analysis), are addressed below.

- B. Applicability of Review Procedures. All land use and development permit applications, except building permits, shall be decided by using the procedures contained in this article as modified by any applicable application-specific procedures identified in Articles 8 and 9. The procedure "type" assigned to each application governs the decision-making process for that application. There are four types of review procedures as described in subsections 1-4 below. Table 15.202-1 lists the City's land use and development applications and corresponding review procedure(s)...
  - 2. Type II Procedure (Administrative/Staff Review with Notice). Type II decisions are made by the City Planning Official, with public notice and an opportunity for appeal to the Planning Commission. Alternatively, the City Planning Official may refer a Type II application to the Planning Commission for its review and decision in a public meeting.

**Applicant Response**: The proposal is a Site Plan. Based upon Table 15.202-1, the applicant anticipates that the application will be reviewed via the Type II procedure.

#### 15.202.020 Time Limit and Consolidated Review.

C. Consolidated Review of Applications. When an applicant applies for more than one type of application for the same one or more contiguous parcels of land, the proceedings shall be consolidated for review and decision. When proceedings are consolidated, required notices may be consolidated, provided the notice shall identify each application to be decided. When more than one application is reviewed in a hearing, separate findings and decisions shall be made on each application.

**Applicant Response:** The applicant has submitted a Site Plan application only; therefore, there is no need to consolidate applications.

## 15.202.040 Pre-application conference

- A. A pre-application conference is encouraged for complex applications or for applicants who are unfamiliar with the land use process and is required for all Type III applications. The purpose of the conference shall be to acquaint the applicant with the substantive and procedural requirements of the applicable land use codes, to provide for an exchange of information regarding applicable requirements of the comprehensive plan, zoning code or land division code and to identify issues likely to arise in processing an application. The applicable zoning code may require that a pre-application conference be held for particular types of applications.
- B. Required pre-application conferences must be held no more than one year prior to the submittal of a Type III land use application. Requests for pre-

application conferences shall be made on a form provided by the City.

**Applicant Response:** While the application is not complex, a pre-application was held on 06/24/2024; the events that occurred are consistent with this provision.

### 15.202.050 Neighborhood Contact

A. Purpose and Applicability. Unless waived by the City Planning Official, applicants for master plans, subdivisions with more than 10 lots, major variances and property owner-initiated for zone changes are required to contact neighboring property owners and offer to a hold meeting with them prior to submitting an application...

**Applicant Response:** The proposal is for a Site Plan. It is not for a master plan, subdivisions with more than 10 lots, major variance or property owner-initiated for zone change. Therefore Neighborhood Contact is not required.

## E. Title 8 - Applications and Reviews

**Chapter 15.312 – Site Plan Review** 

### 15.312.010 Purpose

- A. The purpose of the site plan review provisions of this section is to ensure that development within the City complies with standards and limitations set forth within the applicable zone, by other city standards and requirements and by applicable county, state and federal regulations.
- B. This broad purpose is furthered by the following specific purposes of site plan review.
  - 1. To implement the goals and policies of the Comprehensive Plan.
  - 2. To foster development that is designed, arranged and constructed in a manner that provides a safe, efficient and aesthetically pleasing community asset.
  - 3. To encourage originality and creativity in site design, architecture and landscape design.
  - 4. To ensure that the arrangement of all functions, uses and improvements of a development reflect the natural amenities, capabilities and limitations of its site and adjacent areas.
  - 5. To encourage development where the various structures, use areas and site elements are integrated in a manner that is visually harmonious within the development and the surrounding area.

6. To encourage development and landscape design that complements the natural landscape and setting, improves the general appearance of the community and enhances specific elements of the manmade environment, both presently and historically.

**Applicant Response:** This is a purpose statement and it does not provide any measurable development standards or approval criteria.

### 15.312.020 Applicability

The following uses and development shall be subject to the provisions of this section.

A. All new construction or new development except for: single-family residences (including manufactured dwellings, mobile homes, modular homes), duplexes, accessory dwelling units and related accessory structures unless provided otherwise in this chapter....

**Applicant Response:** The proposal includes new development and is a development other than a single-family home, duplex, or accessory dwelling; therefore Site Plan Review is required.

### 15.312.025 Site Plan approval required

Site Plan review and approval, as specified by this chapter, shall be required prior to the following:

- A. Site clearance activities such as grading, excavation or filling for any use or development requiring a permit pursuant to this Code.
- B. The issuance of a building or development permit for any use or development requiring City approval pursuant to this Code.

**Applicant Response:** The applicant plans to receive approval prior to initiating any of the items listed in this section.

#### **15.312.030 Procedure Type**

B. Site Plan Review applications are subject to Type II Review in accordance with the procedures in Article 7 unless elevated to a Type III review at the discretion of the Planning Official.

**Applicant Response:** This section establishes that a Site Plan is reviewed via the Type II procedures, it is expected that the application will be reviewed accordingly.

C. Pre-application conference. Prior to applying for site plan approval, applicants should and may meet with the City Planning Official, Building Official and

Public Works Director, or designees thereof, and present a preliminary plan which shall contain, in an approximate manner, the information required on a site plan review application.

- 1. The purpose of the preliminary site plan review is to enable the applicant to obtain advice from the City as to the intent, standards, criteria and provisions of this Chapter, this Code, other city ordinances, standards and regulations, and state and federal rules and regulations which may be pertinent to the proposal.
- 2. Information presented for preliminary discussion shall be considered confidential if so requested by the applicant.

**Applicant Response:** The applicant held a pre-application meeting with City Staff on 06/24/2024. The pre-application meeting that was held conforms to these requirements.

### 15.312.040 Submittal Requirements

A property owner or authorized representative thereof may initiate a request for site plan review by filing an application with the City using forms prescribed by the City together with the required filing fee in accordance with the Type II application requirements in Article 7. In addition to the information required for a Type II review (see Article 7), the applicant shall submit that which is listed below.

A. Requirements for information to be submitted. Information provided on the site plan shall conform to the following. The number of copies required shall be as specified on the application form.

- 1. Drawings depicting the proposal shall be presented on sheets not larger than 24 inches by 36 inches in the number of copies directed by the City.
- 2. To facilitate public reviews and notice, at least one copy of the proposal shall be provided on a sheet of paper not larger than 11 inches by 17 inches.
- 3. Drawings shall be at a scale sufficiently large enough to enable all features of the design to be clearly discerned and shall include a north arrow and scale.
- 4. The City may require that the drawing, development plan or other information be provided to the City on computer disk in a format adaptable to the city's computer systems.
- B. Site analysis diagram. If required by the City Planning Official, this element of the site plan, which may be in schematic or free hand form to scale, shall indicate the following site characteristics.

- 1. Location and species of existing trees greater than six inches in diameter when measured four feet above the natural grade, and an indication of which trees are proposed to be removed.
- 2. On sites that contain steep slopes, potential geological hazard or unique natural features that may affect the proposed development, the city may require contours mapped at two-foot intervals.
- 3. Natural drainage ways, depths of any ground water tables less than 12 feet, any areas of surface water accumulations and any other significant natural features.
- 4. The location and width of all public and private streets, drives, sidewalks, pathways, rights-of-way, and easements on the site and adjoining the site, and all buildings, utilities, retaining walls, and other manmade features, both existing and proposed.
- 5. Natural features, including trees, riparian habitat and stream channels and structures on-site or on adjoining properties that have or may have a visual or other significant relationship with the site and the proposed development thereon.
- C. Site photographs. Photographs depicting the site and its relationship to adjoining sites and the general area are extremely valuable, should be provided, and may be required by the City Planning Official.
- D. Site development plan. The site plan shall indicate the following.
  - 1. Legal description of the property.
  - 2. Boundary dimensions and site area.
  - 3. Location and sizes of existing and proposed utilities, including water lines, sewer lines, hydrants, etc.
  - 4. Location of all existing and proposed structures, including distances from the property lines.
  - 5. Area of the site to be covered by structures, existing and proposed, and the percentage of site coverage thereby.
  - 6. All external dimensions of existing and proposed buildings and structures. 8-9
  - 7. Location of building entrances and exits.
  - 8. Access drives, parking and circulation areas, including their dimensions.

- 9. Service areas and delivery circulation plan for such uses as the loading and delivery of goods.
- 10. Locations, descriptions and dimensions of easements as may be applicable.
- 11. Grading and drainage plans and calculations, including spot elevations and contours at intervals close enough to convey their meaning.
- 12. Location of areas to be landscaped, including designated landscape materials/plants types and sizes.
- 13. Outdoor recreation and/or play areas.
- 14. Pedestrian and bicycle circulation, including existing and proposed onsite and offsite sidewalks.
- 15. Location of mechanical equipment not enclosed within a building, garbage disposal areas, utility appurtenances and similar structures.
- 16. Exterior lighting and fencing.
- 17. Location, size and method of illumination of signs.
- 18. Provisions for handicapped persons.
- 19. Other site elements which will assist in the evaluation of site development.
- 20. Location, names, surface and right-of-way widths and improvement standards of all existing and proposed streets within or adjacent to the proposed development.
- 21. Location of areas designated for snow storage, in accordance with the requirements of Section 18.86.060, and calculations of the area required by the minimum standard and the proposed area.
- 22. Information necessary to demonstrate compliance with Fire Code including, but not limited to, fire flow, apparatus access, and hydrant spacing.

**Applicant Response:** As documented on the attached Exhibits, the submittal packet includes plans that document all elements detailed herein that are necessary to determine conformance with the applicable development standards and approval criteria.

E. Accompanying written summary. In addition to the foregoing site

development plan requirements, a written summary of the proposal should be provided and may be required showing the following, (unless such is shown on the site development plan).

- 1. Commercial and nonresidential development. For commercial and nonresidential development:
  - a. The square footage contained in the site area to be developed.
  - b. The percentage of the area to be covered by structures when developed.
  - c. The percentage of the area to be covered by parking areas and the total number of parking spaces.
  - d. The total square footage of all landscaped areas, including the percentage consisting of natural materials and the percentage of hard surfaced areas such as courtyards.
  - e. Trip generation letter, signed by a professional engineer registered by the State of Oregon (unless waived by the City Planning Official). A Traffic Impact Analysis may be required in accordance with Section 15.90.080.
- 2. Residential development. For residential development:
  - a. The total square footage of the lot or parcel and in the structures in the development.
  - b. The number of dwelling units in the development (include the units by the number of bedrooms in each unit, for example, ten one-bedroom, 25 two-bedroom and the like).
  - c. Percentage of lot coverage by structures, way areas, recreation areas and landscaping.
  - d. Trip generation letter, signed by a professional engineer registered by the State of Oregon (unless waived by the City Planning Official). A Traffic Impact Analysis may be required in accordance with Section 15.90.080.

**Applicant Response:** As documented on the attached Exhibits, the submittal packet includes plans that document all elements detailed herein that are necessary to determine conformance with the applicable development standards and approval criteria.

F. Landscape plan. If required by the City Planning Official, a landscape plan shall be submitted and shall indicate the following.

- 1. The size, species and locations of plant materials to be retained or placed on site.
- 2. The layout of irrigation facilities.
- 3. Location and design details of walkways, plazas, courtyards and similar areas.
- 4. Location, type and intensity of outdoor lighting.
- 5. Location and design details of proposed fencing, retaining walls and trash collection areas.
- 6. Other information as deemed appropriate by the review authority. An arborist's report may be required for sites with mature trees that are to be retained and protected.

**Applicant Response:** The application is supported by Landscape Plan that contains all of the items noted in this section.

- G. Architectural drawings. This element of the site plan review, if required by the City Planning Official, shall indicate the following.
  - 1. A plan specifying the building footprint and dimensions, including all points of access. Floor plans of interior spaces to the extent required to clarify access functions and the relationship of the spaces to decks, porches, balconies and stairs or other features shown on the building elevations. The floor plans shall be provided for all building floors and shall include appropriate dimensions.
  - 2. Exterior elevations showing building heights, windows, doors, exterior light fixtures, stairways, balconies, decks and other architectural details. These elevations shall be provided for every exterior wall surface, including those which are completely or partially concealed from view by overlapping portions of the structure. Existing and finished grades at the center of all walls shall be shown with elevations of floors indicated and a dimension showing compliance with height limitations.
  - 3. Location and type of exterior light fixtures, including the lamp types and the levels of illumination that they provide.
  - 4. Location, size and method of illumination of all exterior signs.

**Applicant Response:** The application is supported by Architectural Plans which include all items noted in this section.

H. Property survey. A survey of the property by a licensed land surveyor may

be required, and if required the survey shall clearly delineate property boundaries, and show the location of the corners of proposed buildings and other significant features proposed for the site. The requirement for a survey of the exterior boundaries of a site may be waived where it is found that there is a recent survey that can be used to clearly establish the applicant's property boundaries.

**Applicant Response:** The Site Plan and supporting documents are based upon a survey of the site.

I. Deed restrictions. Copies of all existing and proposed restrictions or covenants, including those for roadway access control.

**Applicant Response:** A title report is included in the submittal packet, which references all restrictions on the property.

J. Narrative. A written narrative addressing the applicable criteria listed Section 15.312.050 for residential development and Sections 15.312.050 and 15.312.060 for non-residential development.

**Applicant Response:** This document is the written narrative addressing the applicable criteria.

K. Other information as determined by the City Planning Official. The City Planning Official may require studies or exhibits prepared by qualified professionals to address specific site features or project impacts (e.g., traffic, noise, environmental features, natural hazards, etc.), as necessary to determine a proposal's conformance with this Code.

**Applicant Response:** To date, no other information has been requested by the City.

15.312.050 Approval Criteria – All Residential and Non-Residential

To ensure that the stated purposes of the site plan review process are met, the review authority shall be governed by the criteria below as they evaluate and render a decision on a proposal.

### A. Statement of intent.

- 1. The site plan review criteria are intended to provide a frame of reference for the applicant in the development of a site, building and landscape plans, as well as providing the City with a means of reviewing proposed plans.
- 2. These criteria provide a clear and objective means of evaluating residential development (and the residential components of a mixed use development) in accordance with ORS 197.

3. The review authority is not authorized as a part of the site plan review process to approve projects which exceed specific development standards set forth by the applicable zone unless the exceptions are approved in accordance with specific variance or other provisions set forth in this Code.

**Applicant Response:** This is a purpose statement and statement of intent. This section does not provide any measurable development standards or approval criteria.

- B. Site Plan Evaluation Criteria. The following criteria shall be used in evaluating all site development plans.
  - 1. The application is complete, in accordance with the applicable procedures in Article 7;

**Applicant Response:** A complete review of Article 7 – Procedures was noted above. As detailed therein, the proposal complies with the noted procedures and it is anticipated that City Staff will review the Application in accordance with the procedures that are established in that section. Therefore, the proposal complies with this approval criterion.

2. The application complies with all applicable provisions of the underlying Zoning District in Article 3, including, but not limited to, setbacks, lot dimensions, density, lot coverage, building height, and other applicable standards;

**Applicant Response:** A complete review of Article 3 –was noted above. As detailed therein, the proposal complies with all standards of the Commercial Mixed Use (CMX) Zone; therefore the proposal complies with this approval criterion.

3. The application complies with the provisions of the any applicable Overlay Zones in Article 4;

**Applicant Response:** The property is not located within an Overlay Zone; therefore this criterion does not apply.

4. The proposal complies with all applicable Development and Design Standards of Article 5;

**Applicant Response:** A complete review of Article 5 –was noted above. As detailed therein, the proposal complies with all standards of Article 5; therefore the proposal complies with this approval criterion.

5. The application complies with all applicable Special Use standards in Article 6;

**Applicant Response:** A complete review of Article 6 –was noted above. As detailed therein, the proposal complies with the Special Use Standards that apply to Multi-Family Foundation for Affordable Housing – Wickiup Station Site Plan

Developments; therefore the proposal complies with this approval criterion.

6. Adequate public facilities and utilities are available or can be made prior to occupancy to serve the proposed development;

**Applicant Response:** Water and sewer facilities will be extended to serve the site. As designed the proposal conforms to this approval criterion.

7. The proposed Site Plan conforms to the standards within the adopted La Pine Transportation System Plan (TSP), as may be amended from time to time, unless other design standards are specifically approved by the City.

**Applicant Response:** The application is supported by Traffic Report that was prepared by Ferguson and Associates, Inc. The submitted traffic report ensures conformance with this approval criterion.

8. The proposed Site Plan conforms to the La Pine sewer and water standards, as may be amended from time to time, unless other design standards are specifically approved by the City. All sewer improvements must comply with Oregon Administrative Rules Chapter 340 Division 52 requirements, including Appendix A - Sewer Pipelines.

**Applicant Response:** Water and sewer facilities will be extended to serve the site in conformance with City Standards. As designed, the proposal conforms to this approval criterion.

9. The proposed Site Plan conforms to the Central Oregon Stormwater Manual (COSM), as may be amended from time to time, unless other design standards are specifically approved by the City.

**Applicant Response:** The application is supported by a preliminary drainage plan that documents conformance with this approval criterion. Final drainage plans will be reviews through Building Permit review. The proposal design conforms to this approval criterion.

10. All utilities shall be installed underground, unless otherwise specifically approved by the City.

**Applicant Response:** As noted throughout this narrative, all new utilities are planned to be installed underground and therefore in conformance with this approval criterion.

11. The proposal meets all existing conditions of approval for the site or use, as required by prior land use decision(s), as applicable.

**Applicant Response:** The site is vacant. There are no prior approvals or conditions of approval that apply.

Note: Compliance with other City codes and requirements, though not applicable land use criteria, may be required prior to issuance of building permits.

**Applicant Response:** This statement is informational only.

15.312.060 Additional Approval Criteria – Non-Residential Development...

**Applicant Response:** The proposal does not include non-residential development; therefore this section does not apply.

### 15.312.070 Conditions of Approval

In addition to the standards and conditions set forth in a specific zone, (if found to be necessary and supported with adequate findings) additional conditions may be imposed by the City which are found to be necessary to avoid a detrimental impact on adjoining properties, the general area or the city as a whole, and to otherwise protect the general welfare and interests of the surrounding area. The conditions may include, but are not limited to, the following.

- 1. Limiting the manner in which the use is conducted, including restricting the time an activity may take place, and restrictions to minimize environmental impacts such as noise, vibration, air or water pollution, glare and odor.
- 2. Establishing a special setback or other open space requirements, and increasing the required lot size or other dimensional standards.
- 3. Limiting the height, size or location of a building or other structure or use.
- 4. Increasing street width and/or requiring improvements to public streets and other public facilities serving the proposed use, even including those off-site but necessary to serve the subject proposal.
- 5. Designating the size, number, improvements, location and nature of vehicle access points and routes, and requiring pedestrian and/or bicycle ways.
- 6. Limiting or otherwise designating the number, size, location, height and lighting of signs and outdoor or security lighting, and the intensity and/or direction thereof.
- 7. Requiring screening, fencing or other improvements or facilities deemed necessary to protect adjacent or nearby properties, and establishing requirements or standards for the installation and maintenance thereof.
- 8. Protecting and preserving existing trees, other vegetation and water, scenic, historic, archaeological, unique, landmark or other natural or manmade significant resources.

**Applicant Response:** While this section provides conditions that can be imposed on the development, based upon the size and scale of the proposal, along with presubmittal correspondence, the applicant does not anticipate that any of these conditions will be imposed.

#### 15.312.080 Revision of Plans ...

**Applicant Response:** In the event that there is a need to revise the plans, the applicant understands that this section would apply.

#### 15.312.090 Performance Assurance

- Landscaping and other site improvements required pursuant to an approved design review plan shall be installed prior to the issuance of a certificate of occupancy or final inspection, unless the property-owner and/or applicant submits a performance assurance device that is approved by the city committing the installation of landscaping and other site improvements within one year.
- 2. In no case shall the performance be delayed beyond the one-year period for more than six months unless approved otherwise by the City. Acceptable performance assurances shall be in compliance with the provisions of this chapter or as otherwise approved by the City.
- 3. Performance Guarantee Required for Infrastructure Improvements. The City at its discretion may allow a developer to delay installation of required public infrastructure improvements provided such infrastructure improvements must be complete and accepted by the City prior to the issuance of a certificate of occupancy, and provided that the applicant provides assurance for said improvements acceptable to the City. The applicant shall provide a bond issued by a surety authorized to do business in the state of Oregon, irrevocable letter of credit from a surety or financial institution acceptable to the City, cash, or other form of security acceptable to the City.

**Applicant Response:** In the event that performance assurances are needed, the applicant understands that this section would apply.

### IV. Conformance with Senate Bill 1537

The proposed design does not include patios or decks (Section 15.104.040) and does not provide the La Pine Development Code required architectural design elements (Section 15.104.040). In lieu of meeting the Standards of the La Pine Development Code, due to the fact that the project is an affordable housing project, it is able to rely upon special provision of SB 1537. The applicable sections of SB 1537 are addressed below.

#### HOUSING LAND USE ADJUSTMENTS

<u>SECTION 37</u>. Sections 38 to 41 of this 2024 Act are added to and made a part of ORS chapter 197A.

**SECTION 38**. Mandatory adjustment to housing development standards.

- (1) As used in sections 38 to 41 of this 2024 Act:
  - (a) "Adjustment" means a deviation from an existing land use regulation.
  - (b) "Adjustment" does not include:
    - (A) A request to allow a use of property not otherwise permissible under applicable zoning requirements;
    - (B) Deviations from land use regulations or requirements related to accessibility, affordability, fire ingress or egress, safety, local tree codes, hazardous or contaminated site clean-up, wildlife protection, or statewide land use planning goals relating to natural resources, natural hazards, the Willamette River Greenway, estuarine resources, coastal shorelands, beaches and dunes or ocean resources;
    - (C) A complete waiver of land use regulations or any changes beyond the explicitly requested and allowed adjustments; or
    - (D) Deviations to requirements related to the implementation of fire or building codes, federal or state air, water quality or surface, ground or stormwater requirements, or requirements of any federal, state or local law other than a land use regulation.

**Applicant Response:** This section establishes what an adjustment is. The proposal includes adjustments to Section 15.104.040 of the La Pine Development Code, which are housing development standards that can be adjusted by this section.

- (2) Except as provided in section 39 of this 2024 Act, a local government shall grant a request for an adjustment in an application to develop housing as provided in this section. An application qualifies for an adjustment under this section only if the following conditions are met:
  - (a) The application is for a building permit or a quasi-judicial, limited or ministerial land use decision;

**Applicant Response:** The proposal is for a limited land use decision and therefore qualifies under this section.

(b) The development is on lands zoned to allow for residential uses, including mixed-use residential;

**Applicant Response:** The subject property is zoned Commercial Mixed Use (CMX), which allows for residential uses and therefore qualifies under this section.

(c) The residential development is for densities not less than those required under section 55 (3)(a)(C) of this 2024 Act;

**Applicant Response:** Section 55 (3)(a)(C) of this 2024 Act establishes the following:

SECTION 55. Conceptual plan for added sites.

- (3) The conceptual plan must:
  - (a) Establish the total net residential acres within the site and must require for those residential areas:
    - (C) The development will be built at net residential densities not less than:
      - (i) Seventeen dwelling units per net residential acre if sited within the Metro urban growth boundary;
      - (ii) Ten units per net residential acre if sited in a city with a population of 30,000 or greater;
      - (iii) Six units per net residential acre if sited in a city with a population of 2,500 or greater and less than 30,000; or
      - (iv) Five units per net residential acre if sited in a city with a population less than 2,500;

As noted above and detailed on the Site Plan, the design achieves a density of 35.1 units per acre and therefore qualifies under this section.

(d) The development is within an urban growth boundary, not including lands that have not been annexed by a city;

**Applicant Response:** As detailed on the City of La Pine Comprehensive Plan and Zoning Map, the property is located within the La Pine UGB and therefore qualifies under this section.

- (e) The development is of net new housing units in new construction projects, including:
  - (A) Single-family or multifamily;
  - (B) Mixed-use residential where at least 75 percent of the developed floor area will be used for residential uses;

- (C) Manufactured dwelling parks;
- (D) Accessory dwelling units; or
- (E) Middle housing as defined in ORS 197A.420;

**Applicant Response:** The proposal includes 39 net new housing units within a new construction project and therefore qualifies under this section.

- (f) The application requests not more than 10 distinct adjustments to development standards as provided in this section. A "distinct adjustment" means:
  - (A) An adjustment to one of the development standards listed in subsection (4) of this section where each discrete adjustment to a listed development standard that includes multiple component standards must be counted as an individual adjustment; or
  - (B) An adjustment to one of the development standards listed in subsection (5) of this section where each discrete adjustment to a listed development standard that includes multiple component standards must be counted as an individual adjustment; and

**Applicant Response:** The proposal includes adjustments to La Pine Development Code Section 15.104.040 which requires patios/decks and prescribes articulation requirements. Both of these are development standards listed in subsection (5) of this section, specifically (5)(b) articulation and (5)(h)(C) and (D). Only 2 distinct adjustments are being requested; therefore the proposal qualifies under this section.

- (g) The application states how at least one of the following criteria apply:
  - (A) The adjustments will enable development of housing that is not otherwise feasible due to cost or delay resulting from the unadjusted land use regulations;
  - (B) The adjustments will enable development of housing that reduces the sale or rental prices per residential unit;

- (C) The adjustments will increase the number of housing units within the application;
- (D) All of the units in the application are subject to an affordable housing covenant as described in ORS 456.270 to 456.295, making them affordable to moderate income households as defined in ORS 456.270 for a minimum of 30 years;
- (E) At least 20 percent of the units in the application are subject to an affordable housing covenant as described in ORS 456.270 to 456.295, making them affordable to low income households as defined in ORS 456.270 for a minimum of 60 years;
- (F) The adjustments will enable the provision of accessibility or visitability features in housing units that are not otherwise feasible due to cost or delay resulting from the unadjusted land use regulations; or
- (G) All of the units in the application are subject to a zero equity, limited equity, or shared equity ownership model including resident-owned cooperatives and community land trusts making them affordable to moderate income households as described in ORS 456.270 to 456.295 for a period of 90 years.

**Applicant Response:** The proposed design, will allow for more cost effective and efficient construction, which will lessen the cost, improve the financial feasibility of the project and allow for reduced rents. Furthermore, all of the units in the application are subject to an affordable housing covenant as described in ORS 456.270 to 456.295, making them affordable to moderate income households as defined in ORS 456.270 for a minimum of 30 years. Therefore the proposal qualifies under this section.

- (3) A decision on an application for an adjustment made under this section is a limited land use decision. Only the applicant may appeal the decision. No notice of the decision is required if the application is denied, other than notice to the applicant. In implementing this subsection, a local government may:
  - (a) Use an existing process, or develop and apply a new process, that complies with the requirements of this subsection; or
  - (b) Directly apply the process set forth in this subsection.

**Applicant Response:** This section is informational. The applicant anticipates that the City will process the adjustment request accordingly.

- (4) A local government shall grant an adjustment to the following development standards:
  - (a) Side or rear setbacks, for an adjustment of not more than 10 percent.
  - (b) For an individual development project, the common area, open space or area that must be landscaped on the same lot or parcel as the proposed housing, for a reduction of not more than 25 percent.
  - (c) Parking minimums.
  - (d) Minimum lot sizes, not more than a 10 percent adjustment, and including not more than a 10 percent adjustment to lot widths or depths.
  - (e) Maximum lot sizes, not more than a 10 percent adjustment, including not more than a 10 percent adjustment to lot width or depths and only if the adjustment results in:
    - (A) More dwelling units than would be allowed without the adjustment; and
    - (B) No reduction in density below the minimum applicable density.
  - (f) Building lot coverage requirements for up to a 10 percent adjustment.
  - (g) For manufactured dwelling parks, middle housing as defined in ORS 197A.420, multifamily housing and mixed-use residential housing:
    - (A) Requirements for bicycle parking that establish...
    - (B) For uses other than cottage clusters...
    - (C) Unit density maximums...
    - (D) Prohibitions, for the ground floor of a mixed-use building, against:...

**Applicant Response:** The applicant does not propose adjustments to any of the standards of this section.

- (5) A local government shall grant an adjustment to design standards that regulate:
  - (a) Facade materials, color or pattern.

- (b) Facade articulation.
- (c) Roof forms and materials.
- (d) Entry and garage door materials.
- (e) Garage door orientation, unless the building is adjacent to or across from a school or public park.
- (f) Window materials, except for bird-safe glazing requirements.
- (g) Total window area, for up to a 30 percent adjustment, provided the application includes at least 12 percent of the total facade as window area.
- (h) For manufactured dwelling parks, middle housing as defined in ORS 197A.420, multi- family housing and mixed-use residential:
  - (A) Building orientation requirements, not including transit street orientation requirements.
  - (B) Building height transition requirements, not more than a 50 percent adjustment from the base zone.
  - (C) Requirements for balconies and porches.
  - (D) Requirements for recesses and offsets.

**Applicant Response:** The proposal includes adjustments to La Pine Development Code Section 15.104.040 which requires patios/decks and Section 15.104.040, which prescribes articulation requirements. Both of these are development standards listed in this section, specifically (5)(b) articulation and (5)(h)(C) and (D). The adjustments shall be granted under this section.

### SECTION 39. Mandatory adjustments exemption process...

- (1) A local government may apply to the Housing Accountability and Production Office for an exemption to section 38 of this 2024 Act only as provided in this section. After the application is made, section 38 of this 2024 Act does not apply to the applicant until the office denies the application or revokes the exemption.
- (2) To qualify for an exemption under this section, the local government must demonstrate that:

- (a) The local government reviews requested design and development adjustments for all applications for the development of housing that are under the jurisdiction of that local government;
- (b) All listed development and design adjustments under section 38 (4) and (5) of this 2024 Act are eligible for an adjustment under the local government's process; and
- (c)(A) Within the previous 5 years the city has approved 90 percent of received adjustment requests; or
- (B) The adjustment process is flexible and accommodates project needs as demonstrated by testimonials of housing developers who have utilized the adjustment process within the previous five years.

**Applicant Response:** This section would only apply if the City of La Pine desired to exempt itself from the Mandatory Adjustment process. Based upon pre-development meeting, the applicant does not anticipate that the City will be requesting that it is exempted from the Mandatory Adjustment process.

- (3) Upon receipt of an application under this section, the office shall allow for public comment on the application for a period of no less than 45 days. The office shall enter a final order on the adjustment exemption within 120 days of receiving the application. The approval of an application may not be appealed.
- (4) In approving an exemption, the office may establish conditions of approval requiring that the city demonstrate that it continues to meet the criteria under subsection (2) of this section.
- (5) Local governments with an approved or pending exemption under this section shall clearly and consistently notify applicants, including prospective applicants seeking to request an adjustment, that are engaged in housing development:
  - (a) That the local government is employing a local process in lieu of section 38 of this 2024 Act;
  - (b) Of the development and design standards for which an applicant may request an adjustment in a housing development application; and
  - (c) Of the applicable criteria for the adjustment application.

**Applicant Response:** As noted above, it is not anticipated that the City of La Pine will be employing a local adjustment process, in lieu of the Mandatory Adjustment process that is established in Section 38 of this act. Nonetheless, in the event that that such an approach is pursued, the applicant understands that these provisions would apply to the City's Exemption request.

(6) In response to a complaint and following an investigation, the office may issue an order revoking an exemption issued under this section if the office determines that the local government is:...

**Applicant Response:** This section would only apply if 2 events occurred, 1) the City elected to use a local process in lieu of Section 38 and 2) a complaint was filed to the City's process. In the event that those items were to occur, the applicant understands that these provisions would be applicable.

SECTION 40. Temporary exemption authority. Before January 1, 2025, notwithstanding section 39 of this 2024 Act:

- (1) Cities may deliver applications for exemption under section 39 of this 2024 Act to the Department of Land Conservation and Development; and
- (2) The Department of Land Conservation and Development may perform any action that the Housing Accountability and Production Office may take under section 39 of this 2024 Act. Decisions and actions of the department under this section are binding on the office.

**Applicant Response:** The timeline and processes established in this section apply to a City's desire/intent on the utilization of the Temporary Exemption to the Mandatory Exemptions. Based upon pre-submittal correspondence at the pre-development meeting, the applicant was not informed of the City having any intent on utilizing a local process to be exempted from the Mandatory Adjustment requirements. If that is the case, this section is not applicable.

SECTION 41. Reporting...

**SECTION 42. Operative date...** 

SECTION 43. Sunset...

**Applicant Response:** The requirements of this section establish reporting requirements of the City and timelines, but impose no requirements on this application.

# V. Summary and Conclusion:

Based on the discussion above, as well as the exhibits included with this application, the Applicant has documented that the Site Plan request meets the applicable approval criteria. Because the proposal conforms to all applicable criteria and standards, the applicant respectfully requests that the City approve the Site Plan as proposed.



October 18, 2023 #01761

Rima Wilson Land Development Manager Foundation for Affordable Housing 69 Newport Ave Suite #200 Bend Oregon 97703

C: (541) 390-4037 | O: (949) 443-9101 Rima@ffah.org

re: TRIP GENERATION REPORT FOR A LA PINE AFFORDABLE HOUSING DEVELOPMENT – LA PINE, OREGON

#### **INTRODUCTION AND SUMMARY OF FINDINGS**

As requested, we have prepared this trip-generation letter for the proposed construction of 39 units of housing configured as low-rise apartment buildings. The site is located at 52695 Drafter Road in La Pine, Oregon, as illustrated in Figure 1. The map/tax lot number is: 211036AD00100.

As shown herein, the proposed development is anticipated to generate 20 p.m. peak hour trips and 263 daily trips.

A Traffic Impact Analysis (TIA) is not required, as per City of LaPine Code section 15.90.080 Traffic Impact Analysis:

- B. When a traffic impact analysis is required. The city or other road authority with jurisdiction may require a traffic impact analysis (TIA) as part of an application for development, a change in use, or a change in access. A TIA shall be required where a change of use or a development would involve one or more of the following:
  - 1. A change in zoning or a plan amendment designation;
  - 2. Operational or safety concerns documented in writing by a road authority;
  - 3. An increase in site traffic volume generation by [300] average daily trips (ADT) or more;
  - 4. An increase in peak hour volume of a particular movement to and from a street or highway by [20] percent or more;
  - An increase in the use of adjacent streets by vehicles exceeding the 20,000 pound gross vehicle weights by ten vehicles or more per day;
  - 6. Existing or proposed approaches or access connections that do not meet minimum spacing or sight distance requirements or are located where vehicles entering or leaving the property are restricted, or such vehicles are likely to queue or hesitate at an approach or access connection, creating a safety hazard;
  - 7. A change in internal traffic patterns that may cause safety concerns; or
  - 8. A TIA required by ODOT pursuant to OAR 734-051.

It was found that none of the above criteria were met:

- 1. There is no proposed change in zoning or plan map designation;
- 2. No operational or safety issues have been identified;
- 3. The ADT would not increase by more than 300 ADT
- 4. The volume is relatively low and is anticipated than the increase would be less than 20 percent;
- 5. No significant level of truck traffic would occur;
- 6. Driveway spacing requirements can be met;
- 7. The site parking layout is reasonable, as shown in Figure 2; and,
- 8. ODOT criteria do not apply.

#### TRIP GENERATION

Trips generated by the development were forecast using the trip generation rates found in the 11<sup>th</sup> Edition of *Trip Generation* (ITE, 2021), as shown in Table 1. Land use code 220, Multifamily Housing – low rise, was used to forecast trips.

**TABLE 1 - TRIP GENERATION RATES** 

ITE Land	Lauralles	INDEPENDENT	TRIP END	S RATE	In/Out Split (PERCENT)	
USE CODE	LAND USE	VARIABLE PM PEAK HOUR		DAILY	PM PEAK Hour	DAILY
220	Multifamily Housing Low Rise	Dwelling units	0.51	6.74	63/37	50/50

The 39-unit development was forecast to generate a total of 20 p.m. peak hour trips and 263 daily trips, as shown in Table 2.

**TABLE 2 – TRIP GENERATION FORECAST** 

	SIZE	ENDS			
ITE LAND USE		In	Оит	TOTAL	DAILY
Multifamily Housing Low Rise 220	39 DU	13	7	20	263

#### **SUMMARY AND CONCLUSIONS**

The proposed development was forecast to generate 20 p.m. peak hour trips and 263 daily trips. No further study is required according the City of La Pine development Code.

\* \* \* \* \*

It is trusted that the above analysis adequately addresses City of La Pine requirements related to traffic. Please feel free to contact us at your convenience if you would like to discuss any element of this letter-report.

Very truly yours, FERGUSON & ASSOCIATES, INC.

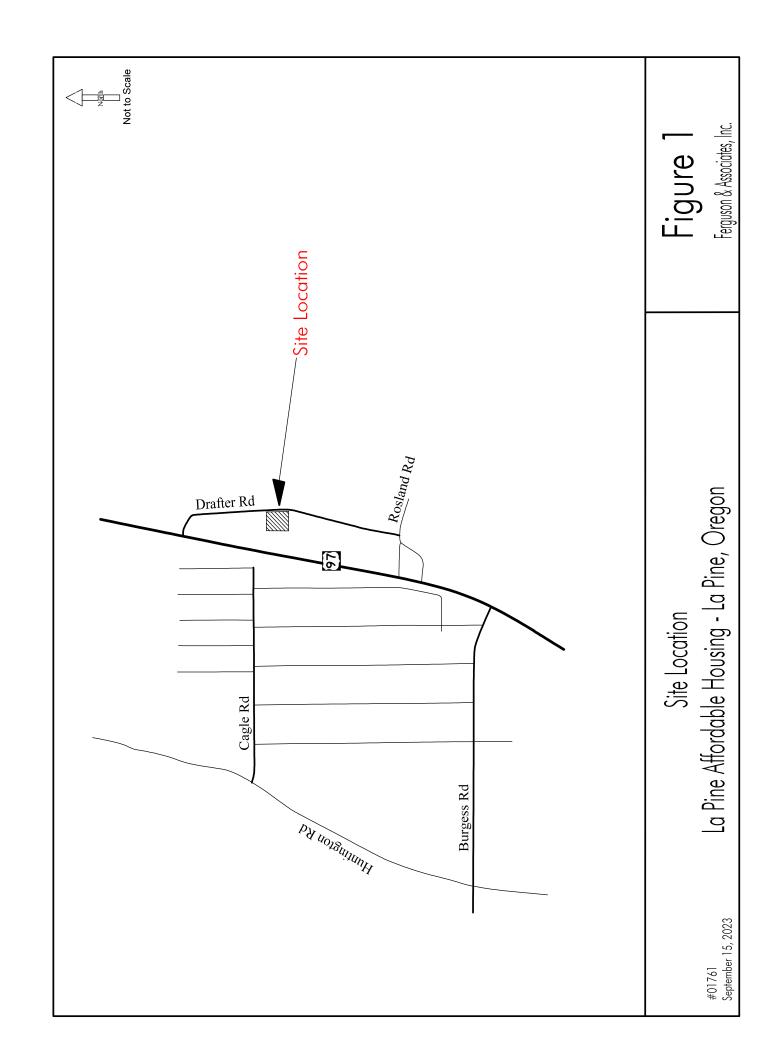
Scott Ferguson, PE



Figure 1

Figure 2







# Figure 2

Ferguson & Associates, Inc.

#01761 September 15, 2023

La Pine Affordable Housing - La Pine, Oregon

# WICKIUP STATION

# 52695 DRAFTER ROAD LA PINE, OR LAND USE SET - 06.27.2024



## PROJECT DIRECTORY

OWNER

**BLACKMORE PLANNING &** 

DEVELOPMENT SERVICES

Bend, Oregon

CONTACT PERSON: ASHLEY & VANCE INGINEERING INC. CONTACT PERSON: HOUSING 33 NW FRANKLIN AVE, SUITE TOMMY WALDRON JOHN FISCHER 69 NEWPORT AVE 110 BEND, OR 97703 twaldron@ffah.org john@ashleyvance.com BEND,OR COMPANY URL https://ashleyvance.com/ T: 949.443.9101 T: 541.647.1445 **ARCHITECT** LANDSCAPE CONTACT PERSON: CONTACT PERSON: LRS ARCHITECTS **BOTANICAL DEVELOPMENTS** 1777 SW CHANDLER AVE ROBBIE GERSHON 63007 LOWER MEADOW DR BEND, OREGON 97701 robbie@botanical-developments.com jlandin@lrsarchitects.com WWW.LRSARCHITECTS.COM www.botanical-developments.com T: 541.668.9554 T: 541.617.5926 MECHANICAL / PLUMBING CONTACT PERSON: CONTACT PERSON: 62930 O. B. RILEY. RD. SUITE **BRENDAN ARNOLD GRANT HARDGRAVE** 6915 S. MACADAM AVE #200 brendana@mke-inc.com granth@hwa-inc.org PORTLAND, OR 97215 http://mke-inc.com/ https://hwa-inc.org/ T: 503.892.1188 T: 541.389.9351 MECHANICAL / PLUMBING

CONTACT PERSON:

T: 541.419.1455

greg@blackmoreplanning.com

STRUCTURAL

PORTLAND, OR 97215

CONTACT PERSON:

stevel@mke-inc.com

http://mke-inc.com/ T: 503.892.1188

PROJECT SUMMARY

STREET ADDRESS: 52695 DRAFTER ROAD, LA PINE, OR PROJECT DESCRIPTION: THE BUILDING DESIGN INCLUDES 3 STORY STRUCTURE APPROXIMATELY 34,500 SQUARES FEET WITH 39 APARTMENT UNITS. THE PROJECT IS ASSUMED TO BE A WOOD FRAME BUILDING WITH A FULL NFPA 13 FIRE SPRINKLER SYSTEM. THE DESIGN INCLUDES ONE-BEDROOM, TWO-BEDROOM AND THREE-BEDROOM UNITS, WITH GROUND LEVEL COMMUNITY ROOMS, OFFICES AND UTILITY SPACES. THE PROJECT WILL INCLUDE SURFACE PARKING AND LANDSCAPING ON APPROXIMATELY 1.11 ACRE SITE. THE SITE IS A LOW SLOPE SITE WITH ACCESS FROM

40,026 S.F.



**VICINITY MAP** 

NOT TO SCALE





SHEET TITLE: **COVER SHEET** 

DRAWN BY:

REVISIONS:



- THE PROPERTY LINES SHOWN HEREON ARE BASED ON FIELD TIES TO SURVEY MONUMENTS AND RECORD INFORMATION OBTAINED FROM THE DESCHUTES COUNTY SURVEYOR'S OFFICE, THEY ARE NOT THE RESULT OF A BOUNDARY SURVEY AS DEFINED BY O.R.S. 209.250(1) AND SHOULD BE CONSIDERED APPROXIMATE ONLY.
- 2. WITH REGARD TO UNDERGROUND UTILITIES, INFORMATION FROM CITY OF LA PINE AND UTILITY LOCATE MARKINGS WERE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, EXCAVATION MAY BE NECESSARY. UNDERGROUND UTILITIES SHOWN HEREON WERE MARKED AS OF MAY 7, 2024, TICKET NOS. 24123662 AND 24123663. ADDITIONAL LOCATE MARKINGS MAY BE PAINTED AFTER THE TIME OF THIS SURVEY AND NOT SHOWN HEREON.
- 3. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS, RESTRICTIONS, AND RIGHT-OF-WAYS OF RECORD AND THOSE COMMON AND APPARENT ON THE
- 4. EASEMENTS SHOWN HEREON ARE PER AMERITITLE STATUS OF RECORD TITLE, TITLE NO. 634270AM.
- 5. THE BEARINGS SHOWN ARE BASED ON THE CENTRAL OREGON COORDINATE SYSTEM. ELEVATIONS SHOWN ARE BASED ON THE VERTICAL DATUM NGVD29 AND WERE DERIVED FROM PUBLISHED CENTRAL OREGON COORDINATE SYSTEM BENCHMARKS.

### REMOVAL LEGEND

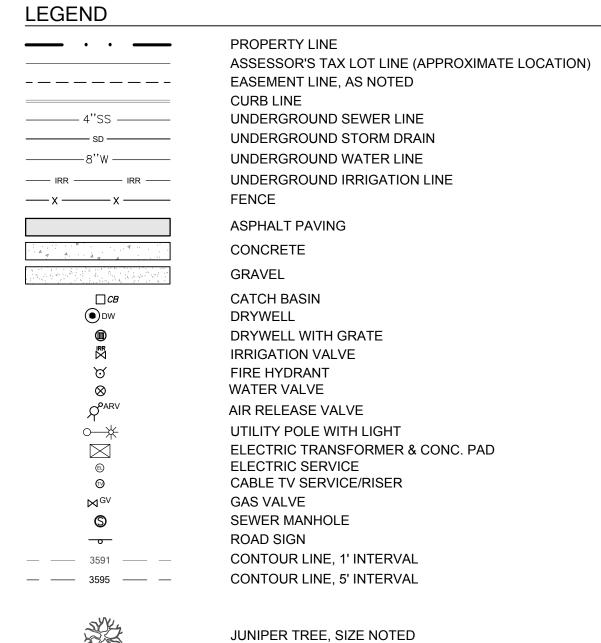
 $\bigotimes$ 

EXISTING TREE TO BE REMOVED

P.....

—X—X4"S\$X ——X— EXISTING SEWER LINE TO BE REMOVED

EXISTING GRAVEL ROAD TO BE REMOVED

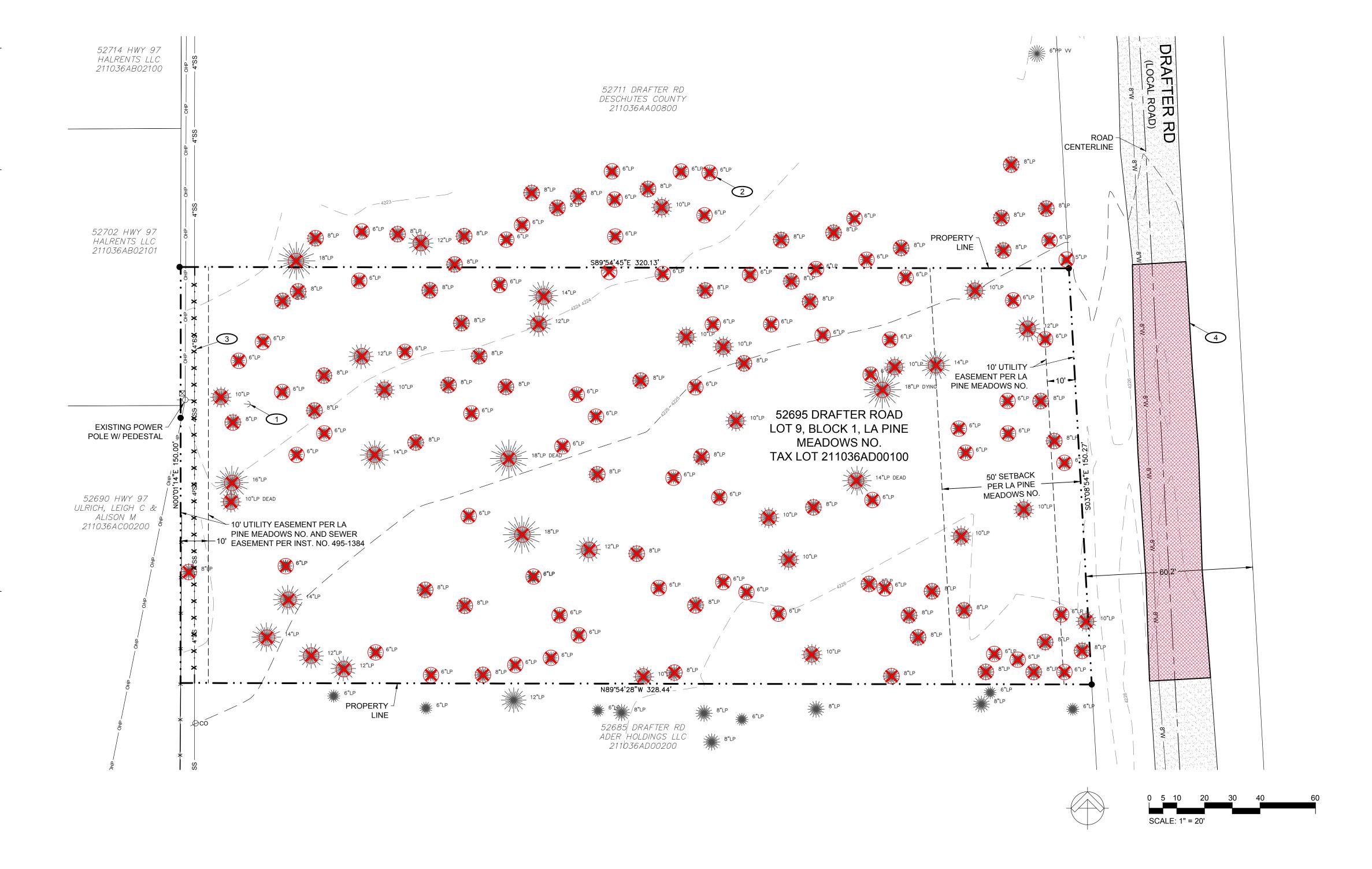


## REMOVAL KEY NOTES

- 1 MIDSTATE ELECTRIC TO RELOCATE GUY ANCHOR
- 2 REMOVE EXISTING TREE, STUMP, & ROOT
- 3 EXISTING 4" SEWER MAIN TO BE REMOVED AND REPLACED WITH 6" SEWER MAIN

FOUND MONUMENT

4 REMOVE EXISTING SECTION OF GRAVEL ROAD





PRELIMINARY NOT FOR CONSTRUCTION

CONSULTANT:



PROJECT NUMBER:

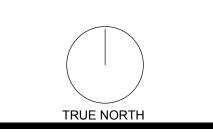
WICKIUP

STATION

52695 DRAFTER ROAD LA PINE, OR

SHEET TITLE:

EXISTING CONDITIONS PLAN



TRUE NO

GENERAL GRADING NOTES

GRADING & PAVING LEGEND

1. ALL GRADING SHALL BE IN CONFORMANCE WITH THE CURRENT 2022 OREGON STRUCTURAL SPECIALTY CODE.

2. EXCAVATORS SHALL COMPLY WITH THE PROVISIONS OF OAR 952-001-0090.

3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT "UNDERGROUND LOCATE SERVICE" AT 1-800-332-2344 AT LEAST 2 FULL BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION FOR LOCATION OF UNDERGROUND WATER, SEWER, STORM DRAIN, POWER, GAS, OIL, CABLE TV, AND TELEPHONE FACILITIES.

4. ALL UNSUITABLE SOILS MATERIALS, RUBBISH, AND DEBRIS RESULTING FROM GRADING OPERATIONS SHALL BE REMOVED FROM THE JOB SITE AND DISPOSED OF PROPERLY.

5. THE CONTRACTOR SHALL EMPLOY ALL LABOR, EQUIPMENT, AND METHODS REQUIRED TO PREVENT HIS OPERATIONS FROM PRODUCING DUST IN AMOUNTS DAMAGING TO PROPERTY, CULTIVATED VEGETATION, AND DOMESTIC ANIMALS OR CAUSING A NUISANCE TO PERSONS OCCUPYING BUILDINGS IN THE VICINITY OF THE JOB SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY DUST RESULTING FROM HIS OPERATIONS.

6. CUT SLOPES IN SOIL AND LOOSE ROCK RUBBLE SHALL NOT EXCEED A RATIO OF 2 HORIZONTAL TO 1 VERTICAL UNLESS PREVIOUSLY APPROVED BY ENGINEER. CUT SLOPES IN SOLID ROCK SHALL NOT EXCEED A RATIO OF ½ HORIZONTAL TO 1 VERTICAL UNLESS FRACTURED OR DISTURBED BY BLASTING THEN THE SLOPE SHOULD NOT EXCEED 1 HORIZONTAL TO 1 VERTICAL. FILL SLOPES SHALL NOT EXCEED A RATIO OF 3 HORIZONTAL TO 1 VERTICAL UNLESS PREVIOUSLY APPROVED BY ENGINEER.

7. ALL ACCESSIBLE ROUTES (EXCLUDING CURB RAMPS) SHALL BE CONSTRUCTED WITH A SLOPE OF NO MORE THAN 5.0% IN THE DIRECTION OF TRAVEL AND A CROSS SLOPE OF NO MORE THAN 2.0%. CURB RAMPS SHALL BE CONSTRUCTED WITH A SLOPE OF NO MORE THAN 8.3% IN THE DIRECTION OF TRAVEL AND A CROSS SLOPE OF NO MORE THAN 2.0%

8. THERE ARE NO WETLANDS OR STREAMS LOCATED WITHIN THE PROPOSED DEVELOPMENT AREA. THE PROPOSED PRIVATE SITE IMPROVEMENTS SHALL BE GRADED AND CONSTRUCTED TO CONTAIN PRIVATE STORM WATER ON SITE. NEW DRYWELL ASSEMBLIES, AS SHOWN ON THE PLAN, WILL BE CONSTRUCTED FOR PRIVATE STORM WATER DISPOSAL WITHOUT DISCHARGING PRIVATE STORMWATER INTO THE RIGHT-OF-WAY OR ADJACENT PROPERTIES.

9. THE PROPOSED DRAINAGE SYSTEM HAS BEEN DESIGNED TO PROVIDE WATER QUALITY TREATMENT AND FLOW CONTROL FOR THE 25-YR / 24-HR STORM EVENT. THE CONVEYANCE SYSTEM COMPONENTS SUCH AS INLETS AND STORM DRAIN PIPES HAVE BEEN DESIGNED TO CONVEY THE PEAK FLOWS FROM THE 25-YR / 24-HR STORM EVENT.

10. CONTRACTOR SHALL PROVIDE CLEAN SAWCUT AT PAVEMENT MATCH LOCATIONS PRIOR TO NEW PAVEMENT INSTALLATION.

11. PER 2009 ICC A117.1 SECTION 405.8, RAMP RUNS WITH A RISE GREATER THAN 6 INCHES (150 mm) SHALL HAVE HANDRAILS COMPLYING WITH 2009 ICC SECTION 505.

12. STAIRWAYS SHALL COMPLY WITH 2022 OREGON STRUCTURAL SPECIALTY CODE SECTION 1011.

13. RAMPS SHALL COMPLY WITH 2022 OREGON STRUCTURAL SPECIALTY CODE SECTION 1012.

14. HANDRAILS REQUIRED FOR STAIRWAYS BY SECTION 1011.11 SHALL COMPLY WITH SECTIONS 1014.2 THROUGH 1014.9. HANDRAILS FOR RAMPS BY SECTION 1012.8 SHALL COMPLY WITH SECTION

15. PER 2022 OSSC SECTION 1015.2, GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING MEZZANINES, EQUIPMENT PLATFORMS, AISLES, STAIRS, RAMPS AND LANDINGS THAT ARE LOCATED MORE THAN 30 INCHES (762 mm) MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES (914 mm) HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. GUARDS SHALL COMPLY WITH SECTION 2019 OSSC SECTION 1015.

DRAINAGE BASIN DATA

						TOTAL				TOTAL	TOTAL
			TOTAL TRIBUTARY		25-YR/24-HR STORM PEAK	25-YR/24-HR STORM INFLOW DESIGN	CMP PIPE		ROW	CHAMBER SYSTEM	CHAMBER SYSTEM
AREA		DISPOSAL	AREA	COMP.	RUNOFF RATE	VOLUME	DIAMETER	CHAMBER	LENGTH	WIDTH	DEPTH
I.D.	DESCRIPTION	TYPE	(SQ. FT.)	CN	(CFS / GPM)	(CU. FT. / GAL.)	(INCHES)	ROWS	(FEET)	(FEET*)	(FEET**)
1	ROOF / PVMT	CMP #1	17,500	98	0.60 / 269	2,716 / 20,316	18	5	40	11.5	2.5
2	ROOF / PVMT	CMP #2	15,015	98	0.70 / 314	3,182 / 23,801	18	6	40	14	2.5
3	ROOF	CMP #3	14,625	98	0.31 / 139	1,402 / 10,487	12	1	120	2	2

\* 1' SPACING BETWEEN CHAMBERS. \*\* TOTAL SYSTEM DEPTH INCLUDES 6" OF BASE AND 6" OF COVER.

MANNING'S n = 0.011 (PAVEMENT) / 0.010 (PVC PIPE)

LOCATIONS PERFORMED BY WALLACE GROUP.

PROGRAM USED: HYDROCAD 10.00-24 STORMWATER MODELING

6-MO/24-HR = 1.1 IN. (WATER QUALITY EVENT = 2/3 OF 2-YR/24-HR STORM EVENT) 2-YR/24-HR = 1.6 IN. (NOAA ATLAS 2 - VOLUME X PRECIPITATION VALUE - LA PINE, OR) 25-YR/24-HR = 2.6 IN. (NOAA ATLAS 2 - VOLUME X PRECIPITATION VALUE - LA PINE. OR) 50-YR/24-HR = 2.9 IN. (NOAA ATLAS 2 - VOLUME X PRECIPITATION VALUE - LA PINE, OR) 100-YR/24-HR = 3.0 IN. (NOAA ATLAS 2 - VOLUME X PRECIPITATION VALUE - LA PINE, OR) DESIGN STORM DISTRIBUTION = NRCS TYPE - I / 24-HR CN = 98 (IMPERVIOUS)

\*MINIMUM TIME OF CONCENTRATION, Tc = 5.0 MIN. CHAMBER SYSTEM ASSUMED (TEST) INFILTRATION RATE = 4.51 IN/HR (PER GEOTECHNICAL REPORT) NOTE: INFILTRATION RATE DETERMINED BY AVERAGING RATES OF (2) SEPARATE ON-SITE TESTING CHAMBER SIZING HAS BEEN SIZED TO CONVEY THE 25-YR/24-HR PEAK RUNOFF RATE. CHAMBER SIZING SHALL BE FIELD VERIFIED BY THE ENGINEER OF RECORD (EOR) OR EOR REPRESENTATIVE, VIA TOPOGRAPHIC SURVEY AND/OR FIELD MEASUREMENTS, PRIOR TO BACKFILL OR

CENTERLINE

PLACEMENT OF DRAINAGE MEDIA. ENGINEER SHALL SUBMIT A GRADING AND DRAINAGE CERTIFICATION PRIOR TO FINAL ACCEPTANCE THAT ALL DRAINAGE INFRASTRUCTURE WAS CONSTRUCTED AND/OR TESTED IN CONFORMANCE WITH THE PLANS

> **PRELIMINARY NOT FOR CONSTRUCTION**

ARCHITECTS

1777 SW Chandler Ave Suite 270

www.lrsarchitects.com

Bend OR 97702

541.668.9550

62930 O.B. RILEY ROAD, STE. 100, BEND, OR 97703

PROJECT NUMBER: WICKIUP STATION

*52695 DRAFTER ROAD* LA PINE, OR

SHEET TITLE:

**GRADING &** DRAINAGE PLAN

TRUE NORTH

DRAWN BY:

PROPERTY LINE PROPOSED 12" CONCRETE CURB (6" REVEAL) PROPOSED 8" CONCRETE CURB (NO REVEAL) PROPOSED DRAINAGE BASIN EXISTING 1' GROUND — — 3591 — — **(6)** SURFACE CONTOUR EXISTING 5' GROUND — — 3595 — — PROPOSED 1' GROUND <del>------ 3591 ------</del> SURFACE CONTOUR PROPOSED 5' GROUND **———** 3595 **———** SURFACE CONTOUR PROPOSED 1' ROW \ PROPERTY -DEDICATION / PROPOSED STORM DRAIN LINE \_\_\_\_ SD \_\_\_\_ PROPOSED SEDIMENTATION MANHOLE WITH SOLID LID PROPOSED CONCRETE CATCH PROPOSED SPOT ELEVATION  $\langle 2 \rangle$ TOP OF CURB FINISH GRADE **EXISTING GRADE** RIM ELEVATION FINISH FLOOR ELEVATION 25.30 TC 24.80 FG ADD 4200.00 FT TO ALL SPOT ELEVATIONS 6"SD 6"SD 6"SD 6"SD EXISTING GRAVEL PROPOSED GRAVEL PROPOSED HMAC PAVEMENT PROPOSED LIGHT-DUTY PCC PAVEMENT FFE = 4225.50 PROPOSED HEAVY-DUTY PCC PAVEMENT PAVING KEY NOTES PROPOSED 12" CONCRETE CURB WITH 6" CURB EXPOSURE PROPOSED HEAVY-DUTY HMAC PAVEMENT (DRIVE AISLES / PARKING) PROPOSED LIGHT-DUTY PCC PAVEMENT PROPOSED HEAVY-DUTY PCC PAVEMENT PROPOSED PARKING LOT STRIPING PROPOSED 20' WIDE GRAVEL FIRE TRUCK ACCESS PROPOSED CURB RAMP PROPOSED CONCRETE WHEEL STOP PROPOSED 6'x6' CONCRETE PAD PROPOSED TRASH ENCLOSURE PROPOSED GRAVEL TAPER TO MATCH EXISTING ROAD

PROPOSED EV PARKING STALLS PROPOSED EV ADA PARKING STALL PROPOSED FUTURE EV PARKING STALLS

PROPOSED BIKE RACKS

(2) BOLLARDS

PROPOSED 8" CONCRETE CURB WITH FLUSH CURB REVEAL

PROPOSED SINGLE HEAD ACCESSIBLE E.V. CHARGING STATION WITH

PROPOSED E.V. CHARGING STATION

PROPOSED ADA PARKING STALLS

PROPOSED VAN ACCESSIBLE ADA PARKING STALL

CENTERLINE

PROPOSED 1' ROW \
DEDICATION

PROPERTY \

PROPOSED 7 10' P.U.E.

- EXISTING 4"

SEWER MAIN

6"SD 6"SD 6"SD 6"SD

PROPERTY -

PROJECT NUMBER: 524010 WICKIUP STATION

52695 DRAFTER ROAD LA PINE, OR

- EXISTING 8"

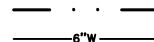
WATER MAIN

SHEET TITLE: UTILITY PLAN

DRAWN BY:







UTILITY LEGEND

PROPERTY LINE PROPOSED DOMESTIC WATER LINE (SIZE AS NOTED) PROPOSED 2" DOMESTIC WATER METER PROPOSED 3" DOMESTIC DCVA PROPOSED 6" DCDA W/ FDC PROPOSED SANITARY SEWER LINE (SIZE AS NOTED) PROPOSED STORM DRAIN LINE PROPOSED SEDIMENTATION MANHOLE PROPOSED CATCH BASIN PROPOSED DRY UTILITY TRENCH — uт —— uт — PROPOSED TRANSFORMER PROPOSED LIGHT POLE

# UTILITY KEY NOTES

1 PROPOSED 2" DOMESTIC WATER SERVICE LINE FROM WATER MAIN TO METER

PROPOSED 2" DOMESTIC METER

PROPOSED 3" DOMESTIC WATER SERVICE LINE FROM METER TO

PROPOSED 3" BACKFLOW PREVENTION ASSEMBLY

PROPOSED 6" FIRE SERVICE LINE

PROPOSED 6" FIRE VAULT ASSEMBLY

PROPOSED 6" SANITARY SEWER MAIN

PROPOSED 4" SANITARY SEWER LINE

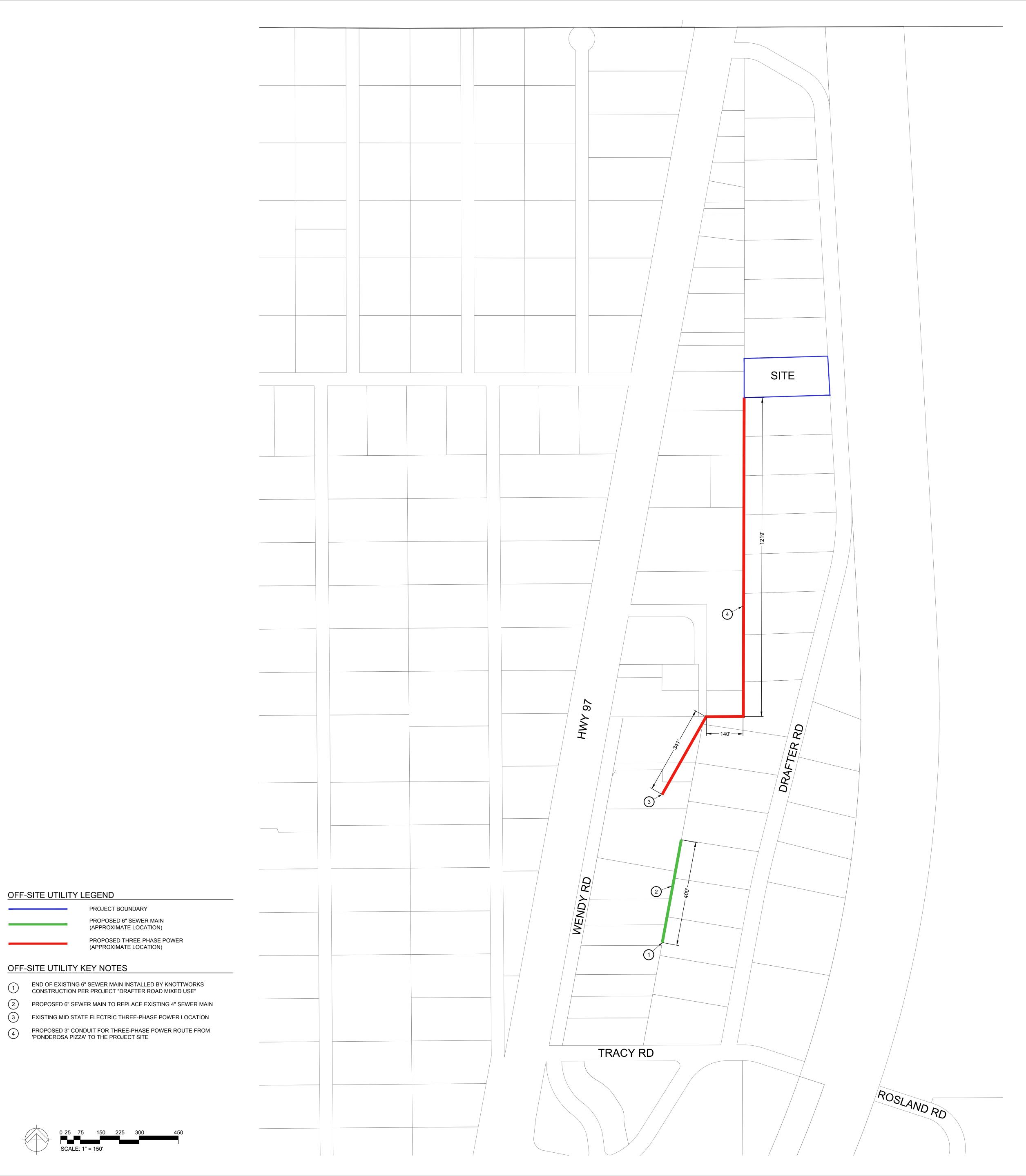
PROPOSED SYSTEM OF 18" PERFORATED CMP FOR STORM WATER

PROPOSED SYSTEM OF 12" PERFORATED CMP FOR STORM WATER DISPOSAL

PROPOSED FIRE HYDRANT

PROPOSED STORM DRAIN LINE (SIZE AS NOTED) PROPOSED SEDIMENTATION MANHOLE WITH SOLID LID PROPOSED CONCRETE CATCH BASIN PROPOSED DRY UTILITY TRENCH PROPOSED TRANSFORMER

PROPOSED (2) 5000-GAL SEPTIC TANKS



ARCHITECTS 1777 SW Chandler Ave Suite 270 Bend OR 97702 541.668.9550 www.lrsarchitects.com

PRELIMINARY NOT FOR CONSTRUCTION

CONSULTANT:

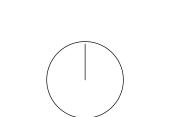
62930 O.B. RILEY ROAD, STE. 100, BEND, OR 97703 (541) 389-9351 WWW.HWA-INC.ORG

PROJECT NUMBER: 524010 WICKIUP STATION

52695 DRAFTER ROAD LA PINE, OR

SHEET TITLE:

OFF-SITE UTILITY PLAN



DRAWN BY:

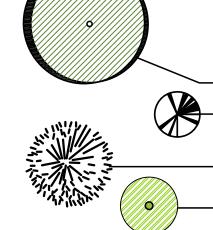
LAND USE SET 06.14.2024

OFF-SITE UTILITY LEGEND

OFF-SITE UTILITY KEY NOTES

PROJECT BOUNDARY

PROPOSED 6" SEWER MAIN (APPROXIMATE LOCATION)



		Plant Schedule		
	Botanical Name	Common Name	Qty.	Size
	Acer sp.	Maple sp.	12	2″ cal.
_	Juniperus scopulorum 'moonglow'	Moonglow Juniper	10	2" cal.
	Pinus nigra 'Oregon Green'	Oregon Green Austrian Pine	14	6'-8' ht.
	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry [multi-stem]	8	10 gal.
-	Mass Planted Area:	Variety of shrubs, grasses & perennials		
	Chamaebatiaria millefolium	Desert Sweet	20	5 gal,
	Mahonia aquifolium	Oregon Grape	5	5 gal.
	Holodiscus discolor	Oceanspray	10	3 gal,
	Picea abies 'Nidiformis'	Nest Spruce	15	5 gal.
	Spiraea douglasii	Douglas Spirea	10	3 gal,
	Koeleria macrantha	Prairie Junegrass	100	1 gal.
	Calamagrostis x acutiflora	Feather Reed Grass	25	1 gal.
	Penstemon strictus	Rocky Mtn. Penstemon	30	1 gal.
	Penstemon pinifolius	Pineleaf Penstemon	20	1 gal.
	Eriogonum heracleoides	Creamy Buckwheat	25	1 gal.
	Nepeta sp.	Catmint	20	1 gal.
	Achillea 'Terracotta'	Terracotta Yarrow	20	1 gal.

Landscape Materials

Rock Mulch - Aspen Gravel w. Metal Edging

2" cal.		De
2" cal.		
// O/ la ±		Pla
6'-8' ht.		Pla
10 gal.		
		Lai
5 gal.		Dog
5 gal,		
3 gal.	▣	Bol
5 gal.		Lai
3 gal.		
1 gal.		1. TI
1 gal.		2. A
1 gal.		afte

L	andscape Materials
1	
Decomposed Granite, 2" depth	w. Metal Edging
Diametria	Tune TDD
Playground Rubber Tiles Playground Equipment	Type TBD. Type TBD.
j i vary gr. d an tar. 2 qui pri terri	
Landscape Basalt Boulders	Boulders shall be at least 2" in dia. with ½ of the rock buried
Dog Waste Station	All Aluminum DOGIPOT® Pet Station
Bollard Light	

### andscape Notes

This plan is schematic in nature and is intended to demonstrate zoning and code compliance.

All newly planted landscape areas will be irrigated with a permanent automatic drip irrigation system. Planting will occur fter irrigation is installed and operational. The landscape contractor shall hand trench only within drip-line of existing trees.

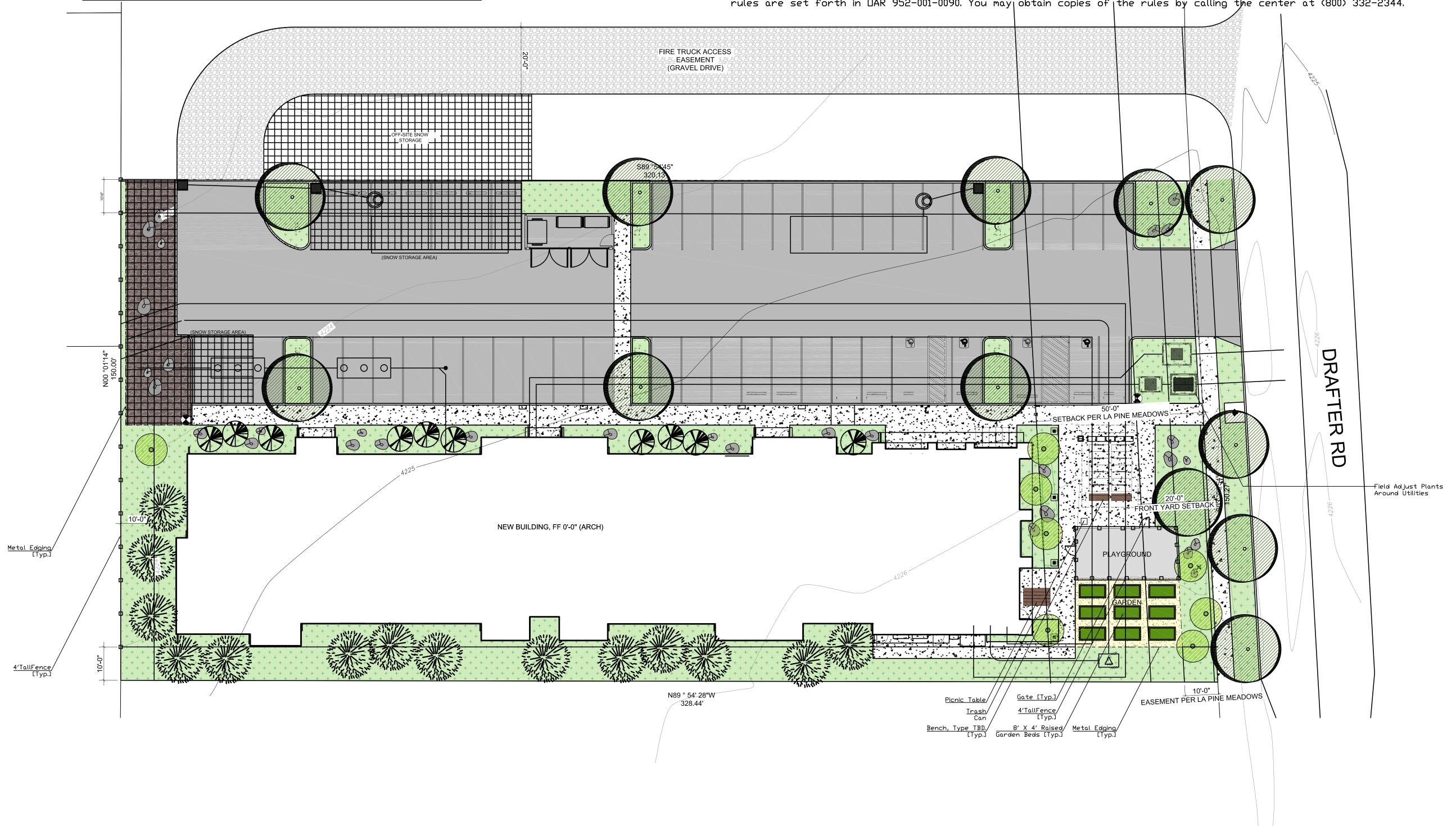
3. Base information, including: proposed grading, location of property lines, utilities easements, buildings, roads, and curbs have been referenced from others. Refer to architectural / civil engineering drawings for additional information.

4. Verify site information, and if actual site conditions vary from what is shown on the landscape plan, the landscape contractor shall contact the owner's authorized representative for direction on how to proceed. Refer to Civil Drawings for existing site conditions.

5. All landscape areas to receive a min. 6" depth friable topsoil and a 2" depth of aspen gravel rock mulch [or approved equal] unless otherwise noted on the landscape plan.

6. Plant quantities are shown for reference only. Landscape contractor is responsible for verifying all quantities on list. Plant quantities shall be adjusted as required for field conditions. Group like species in naturalistic planting patterns in drifts of 3-7. Landscape contractor shall provide a min. of 1 year warranty for all plantings.

7. Call before you dig. Oregon law requires you to follow rules adopted by the Oregon Utilities Notification Center. Those rules are set forth in OAR 952-001-0090. You may obtain copies of the rules by calling the center at (800) 332-2344.







PRELIMINARY NOT FOR

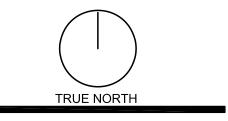
CONSTRUCTION

www.lrsarchitects.com

WICKIUP STATION

*52695 DRAFTER ROAD* LA PINE, OR

SHEET TITLE: LANDSCAPE PLAN



BOTANICAL **DEVELOPMENTS** 



ul	e					_	_	_	
ı	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	G1	6	Lithonia Lighting	DSX0 LED P3 40K 70CRI T4M	D-Series Size 0 Area Luminaire P3 Performance Package 4000K CCT 70 CRI Type 4 Medium	1	8926	0.9	68.95
	W1	1	Performance iN Lighting	303747	MIMIK 20 FLAT M 13.5W 830 A/W Anthracite grey	1	960	0.9	13.5
	<b>S</b> 3	12	COOPER LIGHTING SOLUTIONS - HALO (FORMERLY EATON)	SMD6R12930WH	HALO 6" ROUND SURFACE MOUNT 1200LM	49	25	0.9	15.1
	B1	4	Performance iN Lighting	072004	MIMIK 10 BOLLARD 1000 10W 730 CP-T3 SE - Iron gray	1	633	0.9	10
	<b>S2</b>	4	Lithonia Lighting	CLX L48 3000LM SEF RDL MVOLT 30K 80CRI	CLX LED linear 48", 3000 lumens, Standard efficiency, Less louver, Round diffuse, General, MVOLT, 3000K, 80CRI	1	2842	0.9	18.5164

• S3

B1 +<sub>5.2</sub>

\$3 +5.3

+ • S3 + 4.0

+S3 • +5.6

Plan View Scale - 1" = 10ft

W1

Description Symbol Avg Max Min Max/Min Avg/Min 
 Walking Path
 +
 4.2 fc
 11.4 fc
 0.2 fc
 57.0:1
 21.0:1

 parking lot
 +
 1.8 fc
 3.4 fc
 0.2 fc
 17.0:1
 9.0:1

Not to Scale Drawing No. Summary

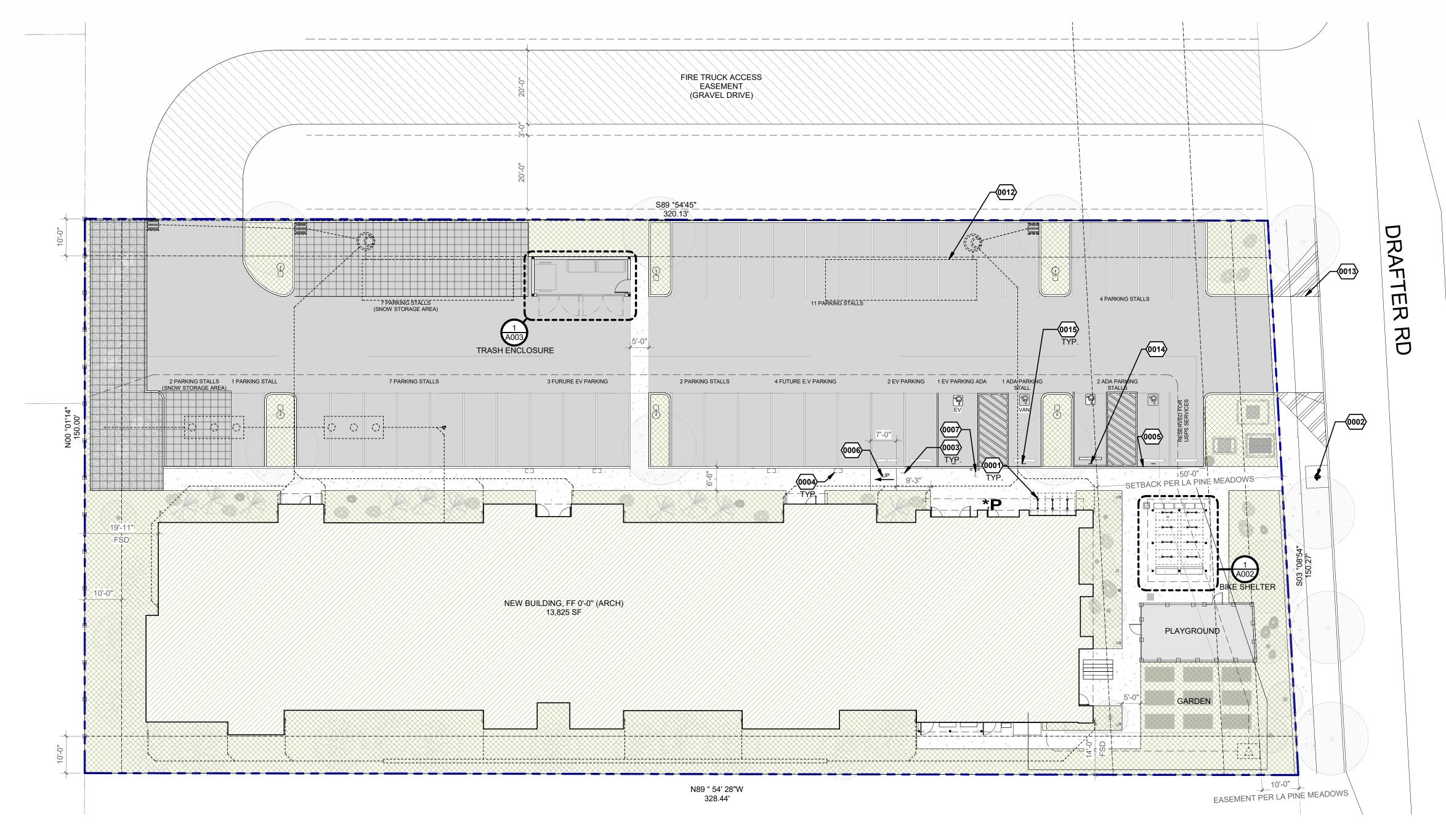
Designer

06/18/2024 Scale

Date

	LAN	ND USE SUMMARY	
ZONING	City of La PIne DEVELOPMENT CODE STANDARDS  CMX -Mixed use	PROPOSED	OREGON SENATE BILLS ( SB0008 + SB 1537): ALLOWED ADJUSTMENTS
LOT AREA	48,476 SF 1.11 AC		
LOTAREA	40,470 3F 1.11 AC		
SETBACKS			
Min Front Yard Setback	20'-0"		
Min Side Yard setback Min Rear Yard Setback	10'-0" 10'-0"		
Min Street Frontage  LOT COVERAGE ALLOWED	50'-0"		_
15.22.400	60% 29,085 SF MAX	30% 14,542.8 SF <b>COMPLIES</b>	
Table 15.22-2	0070 23,003 SI IVIAN	30% 14,342.631 CONFEES	
DENSITY	MIN 5 units /AC MAX 40 units/AC	39 Units = 35.1 units/AC <b>COMPLIES</b>	
15.18.400 Table 15.18-2		·	
LANDSCAPE REQUIREMENTS			
15.82.010.B.2	48,476 SF x <b>0.20</b> = 9,695.2 SF Required	10,689.65 SF of 48,476 SF = 22.05% <b>COMPLIES</b>	SB 1537 SECTION 38(4)(b) A LOCAL GOVERNMENT SHALL GRANT AN ADJUSTMENT TO THE FOLLOWING DEVELOPMENT STANDARDS FOR A INDIVIDUAL PROJECT, THE COMMON AREA, OPEN AREA THAT MUST BE LANDSCAPED ON THE THE LOT OR PARCEL AS THE PROPOSED HOUSING, FOR A REDUCTION OF NOT MORE THE 25 PERCENT. 7,271 SF X .75 = 5,454 S (NO ADJUSTMENT NEEDED)
COMMON OPEN SPACE			
	15% of the site area must be reserved and designated as common area or open space and includes tree groves, play fields, sport courts, pool, walking course, natural area with tables, and similar amenities at least 20'.		SB 1537 SECTION 38(4)(b) A LOCAL GOVERNMENT SHALL GRANT AN ADJUSTMENT TO THE FOLLOWING DEVELOPMENT STANDARDS FOR A INDIVIDUAL PROJECT, THE
15.104.040	48,476 SF x 0.15 = 7,272 SF Required	10,783 SF of 48,476 SF = 22% <b>COMPLIES</b>	COMMON AREA, OPEN AREA THAT MUST BE LANDSCAPED ONHTE THE LOT OR PARCEL AS THE PROPOSED HOUSING, FOR A REDUCTION OF NOT MORE THE 25 PERCENT. 7,271 SF X .75 = 5,454 SF (NO ADJUSTMENT NEEDED)
VEHICLE PARKING			
15.86.030		Standard Spaces 43	SB 1537 SECTION 38(4)(c) A LOCAL GOVERNMENT SHALL GRANT AN ADJUSTMENT TO THE FOLLOWING DEVELOPMENT STANDARDS PARKING MINIMUMS (NO ADJUSTMENT NEEDED)
Table 15.86-1	1.0 Stall / Unit = 39 stalls Required	ADA Spaces 4	
		USPS Space 1	
		TOTAL 48 spaces <b>COMPLIES</b>	
EV CHARGING STALLS	20% of stalls to be EV Charging station ready 48 x 0.2 = 9.6 stalls required	2 Standard +1 ADA +7 FUTURE = 10 STALLS COMPLIES	
PARKING AREA		18,442 SF	1
SNOW STORAGE REQUIRED			1
15.86.060	15% 18,442 SF X 0.15 = 2,766 SF required	2,955 SF = 16.02% <b>COMPLIES</b>	
	39 Parking Space required	Snow Storage provided in 9 Parking spaces and landscape areas	
BICYCLE PARKING			
15.86.050	2 BIKES per 4 UNITS = 19.5	20 BIKES <b>COMPLIES</b>	SB 1537 SECTION 38(4)(A)((i)(ii) A LOCAL GOVERNMENT SHALL GRANT AN ADJUSTMENT TO DESIGN STANDARDS THAT REGULATE REQUIREMENTS FOR REQUIREDMENTS BICYCLE PARKING THAT ESTABLISH: THE MINIMUM NUMBER OF SPACES FOR USE BY THE RESIDENTS OF THE PROJECT, PROVIDED THE APPLICATION INCLUDES AT LEAST ONE HALF SPACE PER RESIDENTIAL UNIT; OR THE LOCATION OF THE SPACES, PROVIDED THAT LOCKABLE, COVERED BICYCLE PARKING SPACES ARE WITHIN OR ADJACENT TO THE RESIDENTAL DEVELOPMENT (NO ADJUSTMENT NEEDED)

	LAND	O USE SUMMARY	
UNITS PATIOS / DECKS			
15.104.040	Private open space: 40% of ground floor units shall have patios or decks at least 48 SF. 40% of upper floor units shall have balconies at least 48 SF	NONE	SB 1537 SECTION 38(5)(h)(C) A LOCAL GOVERNMENT SHALL GRANT AN ADJUSTMEN TO DESIGN STANDARDS THAT REGULATE REQUIREMENTS FOR BALCONIES AND PORCHES (ADJUSTMENT NEEDED)
BUILDING HEIGHT			
15.22.400 Table 15.22-2	45'-0" ALLOWED	44'-11" to ridge line.	
15.80.050.B EXCEPTION	*Exception — height limitations shall not apply to The following appurtenances attached to or part of a principal or accessory structure: Church spire, belfry, cupola, dome, monument, smoke-stack, derrick, conveyor, flag pole, mast, antenna, aerial, roof tank; ventilating air conditioning and similar building service equipment; roof structure, chimney and/or parapet wall, provided it shall be set back in conformance with the setback and yard requirements plus one foot horizontally for each foot in which it exceeds 45 feet in height above ground level. The principal or accessory structure to which it is attached may conform to setback and yard requirements with no additional setback provided the principal or accessory structure conforms to the height limitations of the zone.	47'-5" to top of Cuploa / Venting COMPLIES	
DESIGN STANDARDS			
	Articulation: Varying rooflines, offsets, balconies, projections, recessed or covered entrances shall occur at intervals of at least 30°. Each floor shall have at least two of these elements.		SB 1537 SECTION 38(5)(a) & (b) & (c) & 38(5) (h)(B) & (D) A LOCAL GOVERNMENT SHALL GRANT AN ADJUSTMENT TO DESIGN STANDARDS THAT REGULATE (a) Façade Materials, Colors or patterns, (b) Façade articulation, (c) Roof forms and materials. (h)(B) Building height transition requirements. not more than 50Percent adjustment the base zone. (h)(D) Requirements for recesses and offsets. (ADJUSTMENT NEEDED)
	Design Elements: All elevations shall provide at least two of the following features:		
	a. Covered front porch		
15.104.040	b. Dormers (must be functional)		
	c. Recessed entries	Drovided	
	d. Windows e. Window trim	Provided	$\dashv$
	f. Eaves at least 12"	Provided	<del>-</del>
	g. Offset in façade or roof	Provided	<del>- </del>
	h. Bay window (12" projection)	FTOVIDED	$\dashv$
	i. Balcony, one per street facing unit		
	j. Decorative top (cornice, brackets, etc.)		
	k. Other features providing visual relief	Provided	
	A Cities touries providing visual foliot	Howaca	$\dashv$
	Garbage Collection: Located away from building entrances, setback 10' from right-of-way and adjacent residences, and shall be screened at least 6 in height.	Provided	



1. OVERALL SITE PLAN - LUR

LU-0 SCALE: 1/16" = 1'-0" 0 8' 16' 32'

**EXTERIOR WALLS & OPENINGS** 

#### ABBREVIATIONS: **INSTRUCTIONS:**

FSD = FIRE SEPARATION DISTANCE % VALUES / DISTANCE ARE BASED NL = NO LIMIT OPENING ON UNPROTECTED, SPRINKLERED. NP = NOT PERMITTED MODIFY FOR YOUR PROJECT NS = NONSPRINKLERED

P = PROTECTED S = SPRINKLERS UP = UNPROTECTED

 FIRE SEPARATION DISTANCE (ACTUAL DISTANCE) DISTANCE

%, UP/S ── % OF OPENING SEE TABLE 705.8

FSD>X'

1 NL/UP/S

0'>FSD="X"<3' (FRR) EXTERIOR WALLS PER TABLE 602 1HR FRR NO OPENINGS ALLOWED. EXTERIOR WALL RATED FOR FIRE 1 NP/UP/S EXPOSURE FROM BOTH SIDES REQUIRED.

EXTERIOR WALLS PER TABLE 602 1 HR FRR WITH 15% OF 3'<FSD="X"<5' UNPROTECTED OPENINGS (UP) OF A SPRINKLERED BUILDING, EXTERIOR WALL RATED FOR FIRE EXPOSURE FROM BOTH SIDES REQUIRED.

UNPROTECTED OPENINGS (UP), EXTERIOR WALL RATED FOR FIRE EXPOSURE FROM BOTH SIDES PER 705.5 10'<FSD="X"<15' EXTERIOR WALLS PER TABLE 602 1-HR FRR WITH 45% OF

UNPROTECTED OPENINGS (UP). EXTERIOR WALL IS FIRE TESTED WITH FIRE EXPOSURE ON INSIDE ONLY PER

5'<FSD="X"<10' EXTERIOR WALLS PER TABLE 602 1 HR FRR WITH 25% OF

SECTION 705.5 15'<FSD="X"<20' UP TO 75% OF UNPROTECTED OPENINGS (UP) EXTERIOR

WALL IS FIRE TESTED WITH FIRE EXPOSURE ON INSIDE ONLY PER SECTION 705.5 FIRE SEPARATION DISTANCE:

>20' NO LIMIT ON OPENINGS

FIRE SEPARATION DISTANCE: >25' NO LIMIT ON OPENINGS 1 NL/UP/S

(FT)>FSD="X">30'

TUP/S

| FIRE SEPARATION DISTANCE:
>30' NO LIMIT ON OPENINGS

### **ZONING INFORMATION**

SEE A100 SHEETS FOR OTHER DETAILED ZONING APPROVALS AND CRITERIA

LAND USE: CMX - MIX USE COMMERCIAL

LOT AREA: 1.11 ACRE SITE **BUILDING HEIGHT** 18,442 SF PARKING: LANDSCAPE: 10,689.65 SF

# **GENERAL NOTES**

- A. SITE INFORMATION IS BASED ON OWNERS SURVEY DATED MAY 10TH, 2024 BY HWA
- B. ALL SURVEY INFORMATION INDICATING ALL EXISTING CONDITIONS ARE SHOWN FOR REFERENCE ONLY. C. SEE A101A FOR STANDARD ACCESSIBILITY REQUIREMENTS.
- D. ALL PARKING SPACE DIMENSIONS ARE TO ASPHALT SIDE OF CURB. PARKING SPACES ARE 9'-0" OC UNO. E. STREET, PARKING, DRIVE CUTS, AND/ OR PUBLIC RIGHT OF WAY INFORMATION ARE SHOWN FOR
- REFERENCE ONLY. SEE CIVIL DRAWINGS FOR DETAILED INFORMATION.
- F. DIMENSIONS SHOWN ON THIS PLAN ARE FOR GENERAL LAYOUT OF THE BUILDINGS AND SITE
- ELEMENTS. G. REFER TO THE LEGAL SURVEY (PROVIDED BY
- EXACT LOCATIONS OF EXISTING SITE ELEMENTS. H. SEE CIVIL FOR TYPICAL DIMENSIONS UNO. I. TYPICAL CURB RADIUS IS 3'-0" AT ASPHALT SIDE OF CURB UNO.

OTHERS) FOR PROPERTY LINE DIMENSIONS AND

## **LEGEND**

- - - EXISTING SITE EASEMENTS ---- SITE EASEMENTS ----- SITE SETBACKS

— — — SITE PROPERTY BOUNDARY

4' TALL FENCE, TYP

O O O SITE EGRESS PATH TO RIGHT OF WAY

ENTRY/EXIT ACCESS TO ACCESSIBLE MEANS OF EGRESS

\*R RESTRICTED ENTRY NOT ON ACCESSIBLE ROUTE \*P PUBLIC ENTRY ON ACCESSIBLE ROUTE

SITE POLE LIGHTING

TRAFFIC ARROW

0' - 0" SPOT GRADE ELEVATION

F.F. 123' FINISH FLOOR ELEVATION

FIRE HYDRANT

LANDSCAPE - SEE LANDLANDSCAPE DRAWING FOR ADDITIONAL INFORMATION CONCRETE SIDEWALK / PAVING REFER TO CIVIL DRAWINGS FOR

ADDITIONAL INFORAMTION

ASPHALT PAVING -REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORAMTION

PROPOSED BUILDING

SNOW COLLECTION AREA

# **KEYNOTES**

- 0001 BIKE RACK 0002 FIRE HYDRANT
- 0003 E.V CHARGER 0004 FUTURE E.V CHARGER
- 0005 FLUSH CURB AT ACCESSIBLE PARKING STALLS 0006 SIDEWALK RAMP UP 4"
- 0007 SINGLE HEAD ACCESSIBLE E.V CHARGING STATION
- WITH 2 BOLLARDS 0012 STORMWATER, SEE CIVIL
- 0013 VISION CLEARANCE TRIANGLE, TYP.
- 0014 HANDICAPPED PARKING SIGN
- 0015 HANDICAPPED VAN PARKING SIGN

# SITE PLAN LUR

ARCHITECTURAL

SHEET TITLE:

ARCHITECTS

1777 SW Chandler Ave Suite 270

Bend OR 97702

541.668.9550 www.lrsarchitects.com

PRELIMINARY

**NOT FOR** 

CONSTRUCTION

CONSULTANT:

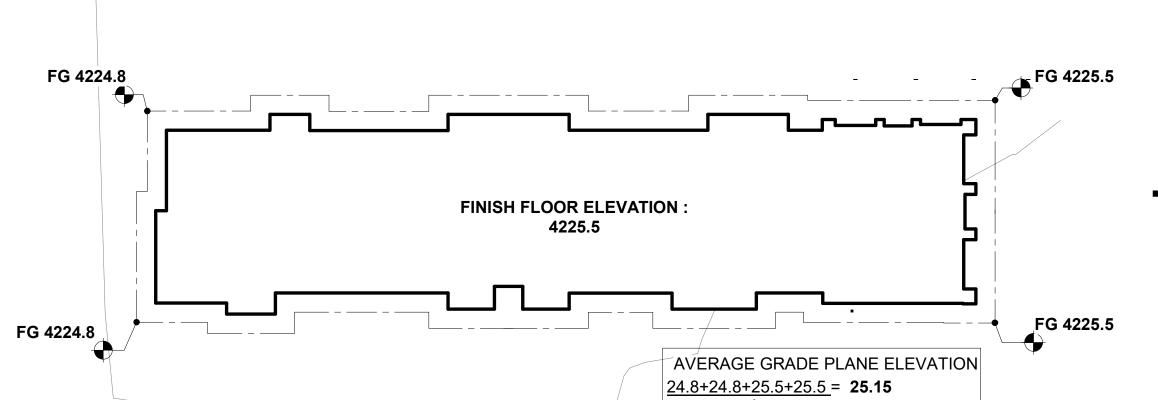
PROJECT NUMBER:

WICKIUP

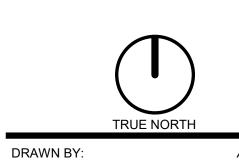
STATION

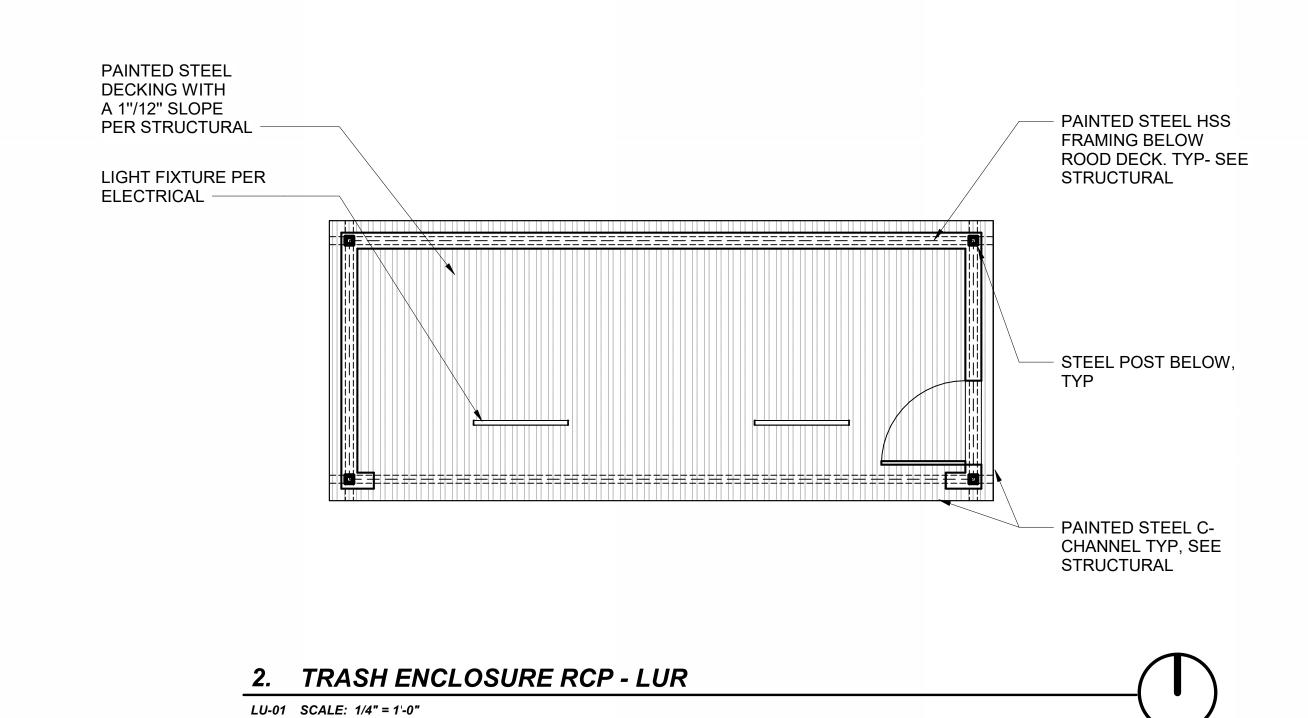
LA PINE, OR

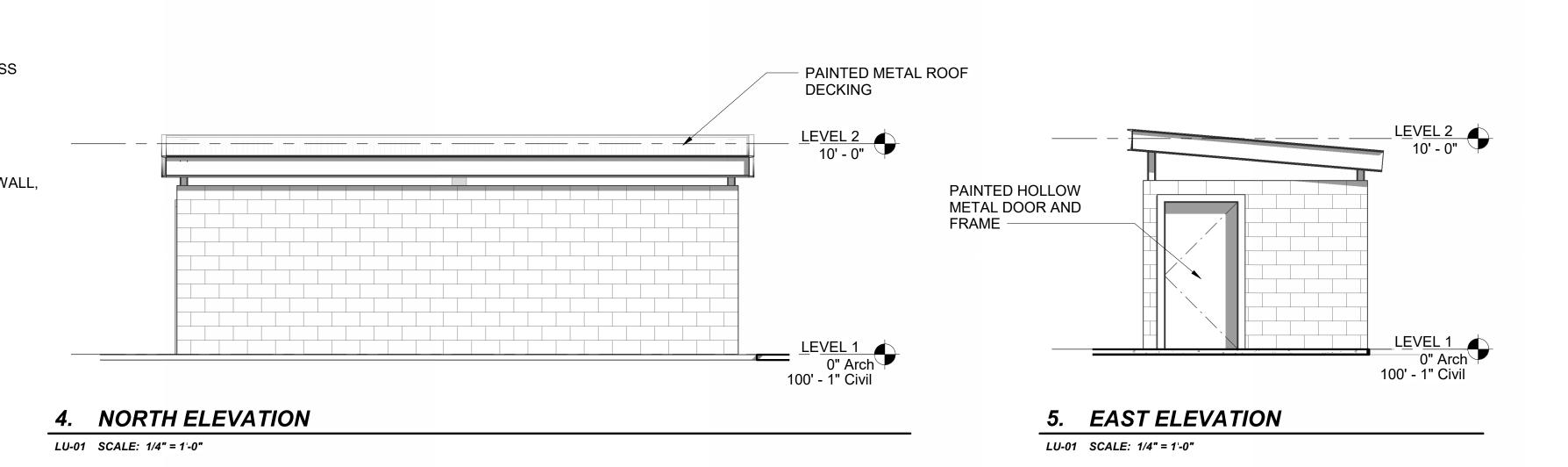
*52695 DRAFTER ROAD* 



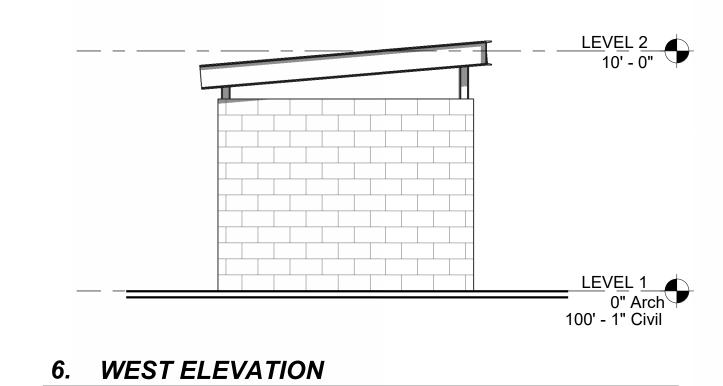
AVERAGE GRADE PLANE DIAGRAM







PROJECT NORTH



3. SOUTH ELEVATION

LU-01 SCALE: 1/4" = 1'-0"

LU-01 SCALE: 1/4" = 1'-0"

LEVEL 1 0" Arch 100' - 1" Civil ARCHITECTS

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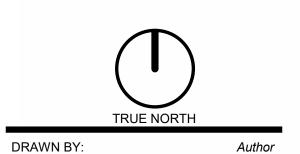
PROJECT NUMBER: 52
WICKIUP
STATION

52695 DRAFTER ROAD LA PINE, OR

SHEET TITLE:

TRASH

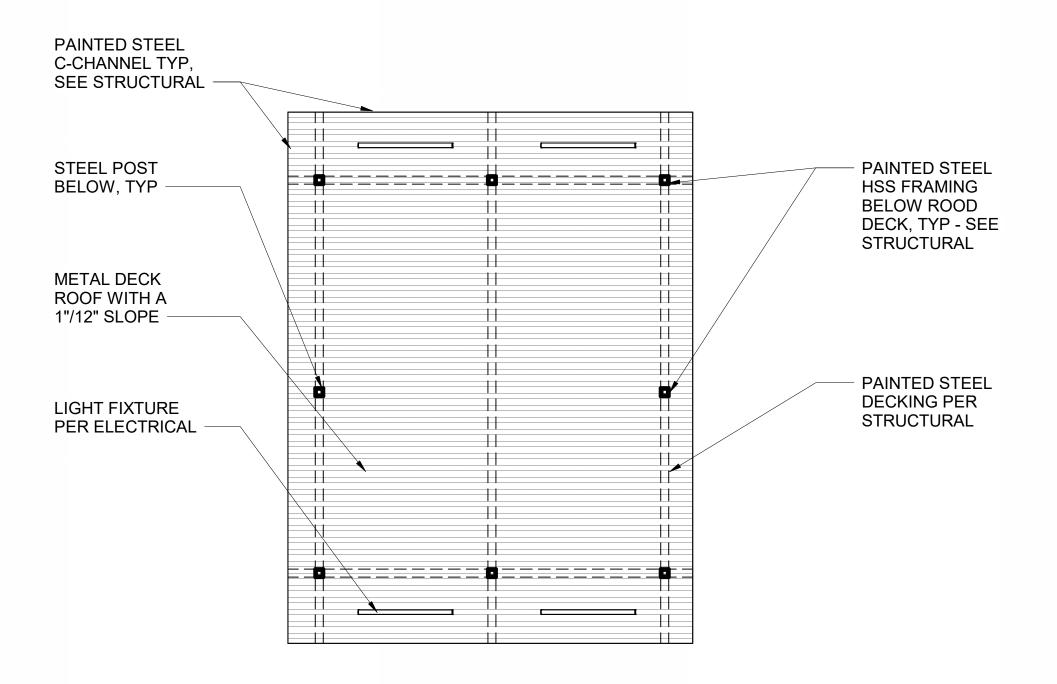
ENCLOSURE LUR



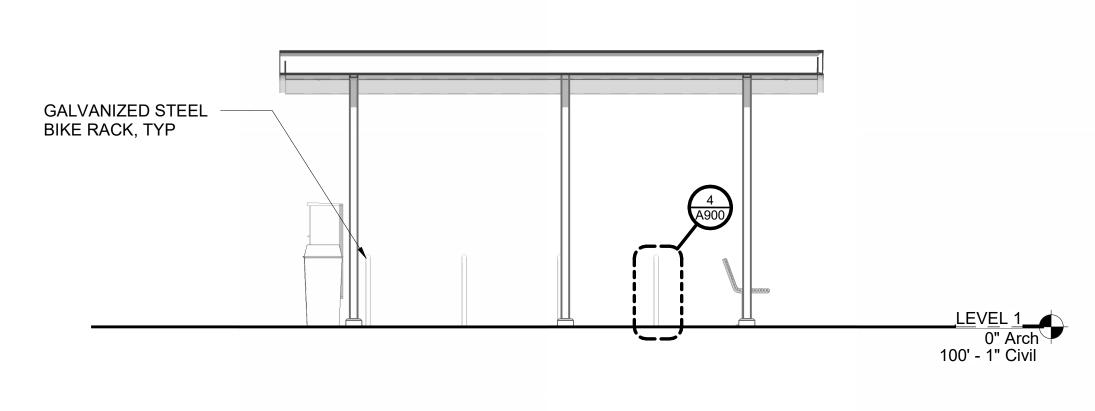
SHE

06.27.2024

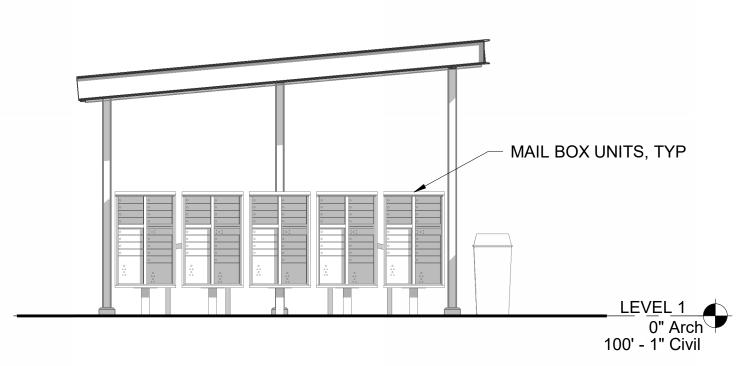
LRS Architects, Inc. © 2024

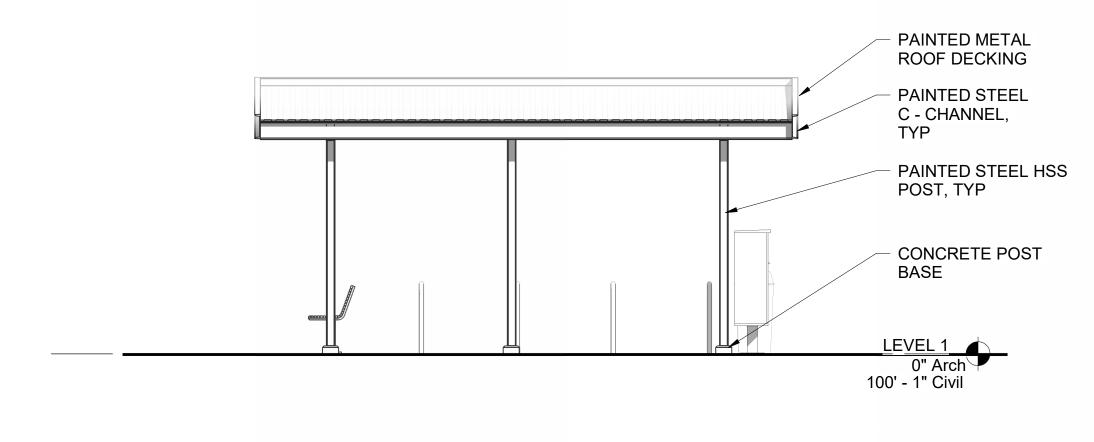


2. BIKE PARKING ENCLOSURE RCP - LUR LU-02 SCALE: 1/4" = 1'-0"



**BIKE PARKING ENCLOSURE - LUR** 





3. EAST ELEVATION

LU-02 SCALE: 1/4" = 1'-0"

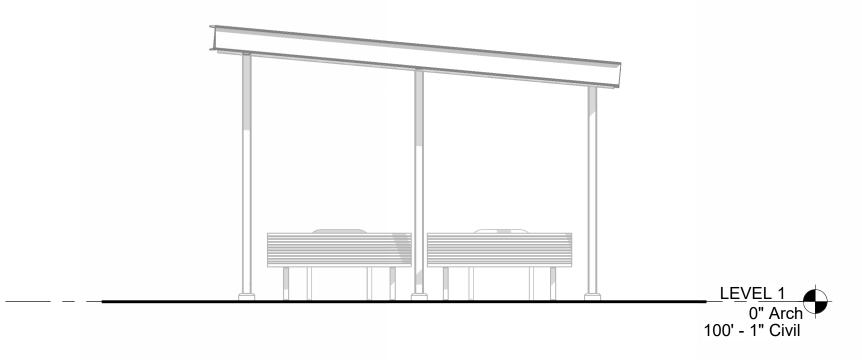
LU-02 SCALE: 1/4" = 1'-0"

4. SOUTH ELEVATION

LU-02 SCALE: 1/4" = 1'-0"

LU-02 SCALE: 1/4" = 1'-0"

5. WEST ELEVATION



6. NORTH ELEVATION

LU-02 SCALE: 1/4" = 1'-0"

TRUE NORTH

ARCHITECTS

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PRELIMINARY NOT FOR CONSTRUCTION

CONSULTANT:

PROJECT NUMBER:

WICKIUP

STATION

LA PINE, OR

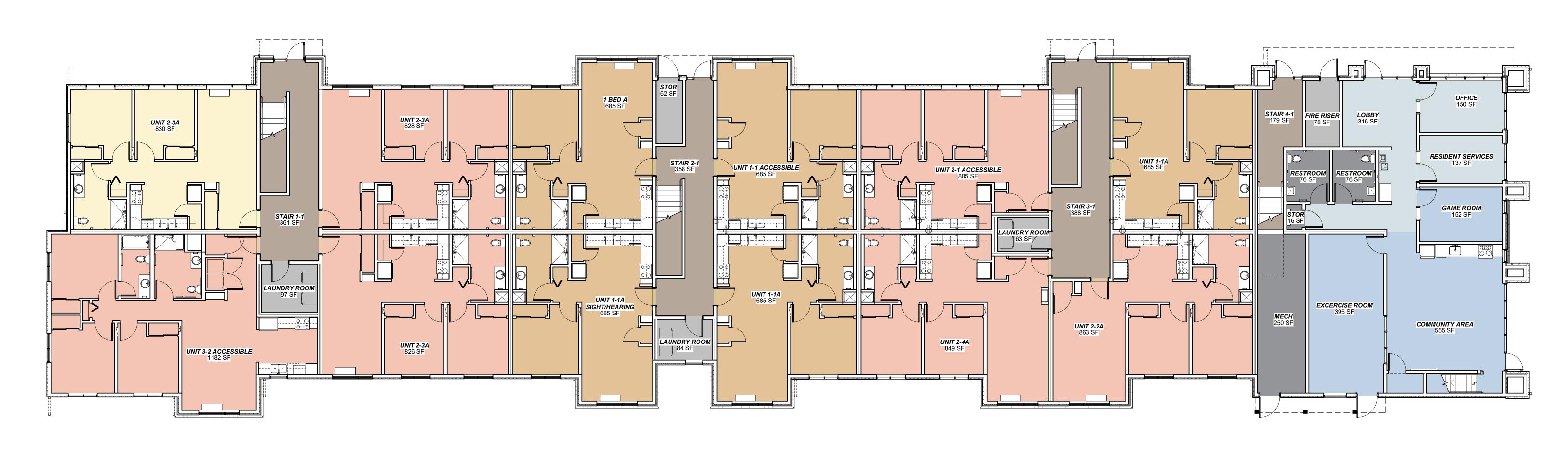
SHEET TITLE:

DRAWN BY:

**BIKE PARKING** 

**ENCLOSURE LUR** 

52695 DRAFTER ROAD



1. LEVEL 1 FLOOR PLAN

LU-1 SCALE: 1/8" = 1'-0" 0 4' 8' 16'



2. LEVEL 2 FLOOR PLAN

LU-1 SCALE: 1/8" = 1'-0"

0 4' 8' 16'



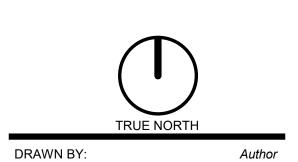
PRELIMINARY NOT FOR CONSTRUCTION

CONSULTANT:

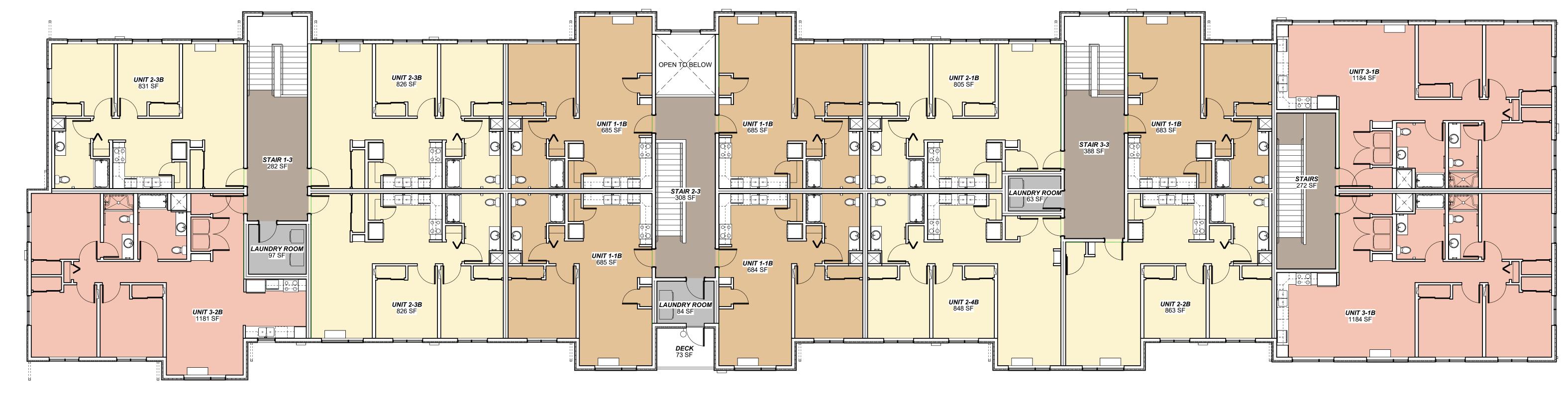
PROJECT NUMBER: WICKIUP STATION

52695 DRAFTER ROAD LA PINE, OR

SHEET TITLE: *LEVEL 1 & 2 - OVERALL FLOOR* **PLANS** 







1. LEVEL 3 FLOOR PLAN

LU-2 SCALE: 1/8" = 1'-0" 0 4' 8' 16'

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PRELIMINARY NOT FOR CONSTRUCTION

CONSULTANT:

PROJECT NUMBER: 52
WICKIUP
STATION

52695 DRAFTER ROAD LA PINE, OR

SHEET TITLE:

LEVEL 3 
OVERALL FLOOR

PLANS



TRUE NORTH

DRAWN BY: Author

x" / 12" STRUCTURED ROOF SLOPE

11'-1"

3" / 12"

-\_\_3" / 12"-\_

⊦∏<del>⋜</del>┪┽┼┼┼

24'-6 3/4"

1202.2.1 ATTIC VENTILATION CALCULATIONS

<u>AREA 1 :</u> AREA: 5,297 S.F. 

 VENTILATION REQUIRED @ 1:150
 5,297/150 = 35.31 S.F.

 50% HIGH
 39.40(0.5) = 19.7 S.F. (SQ.IN.)

 50% LOW
 39.40(0.5) = 19.7 S.F. (SQ.IN.)

VENTILATION PROVIDED: HIGH: VENT (9) @ 104 S.F. LOW: 20.61 LN. FT. @ SOFFIT.

HIGH: VENT (8) @ 110 S.F. LOW: 16.03 LN. FT. @ SOFFIT.

= 104 S.F. 14,976 SQ.IN. NFVA - OK = 20.61 S.F 2,968 SQ.IN. NFVA - OK

AREA: 5,477 S.F.

 VENTILATION REQUIRED @ 1:150
 5,477/150 = 36.51 S.F.

 50% HIGH
 39.03(0.5) = 19.51 S.F. (SQ.IN.)

 50% LOW
 39.03(0.5) = 19.51 S.F. (SQ.IN.)

 VENTILATION PROVIDED:

= 110 S.F. 15,840 SQ.IN. NFVA - OK = 16 S.F. 2,308 SQ.IN. NFVA - OK

AREA: 2,589 S.F.

43'-4"

3" / 12"

AREA: 3

VENTILATION PROVIDED: LOW: VENT (6) @ 65 S.F.

= 65 S.F. 9,360 SQ.IN. NFVA - OK

NFVA = NET FREE VENTILATION AREA

CONSULTANT:

ARCHITECTS

1777 SW Chandler Ave Suite 270

Bend OR 97702 541.668.9550 www.lrsarchitects.com

PRELIMINARY

NOT FOR CONSTRUCTION

PROJECT NUMBER: WICKIUP STATION 52695 DRAFTER ROAD LA PINE, OR

SHEET TITLE:

ROOF PLAN

1. OVERALL ROOF PLAN

LU-3 SCALE: 1/8" = 1'-0" 0 4' 8' 16'

36'-1 3/4"

11'-2"

3" / 12"

AREA: 1

3" / 12"

32'-7 3/4"

54'-8 1/2"

43'-11 1/4"

4.5

24'-6 3/4"

AREA: 2

32'-11"

32'-10 1/4"

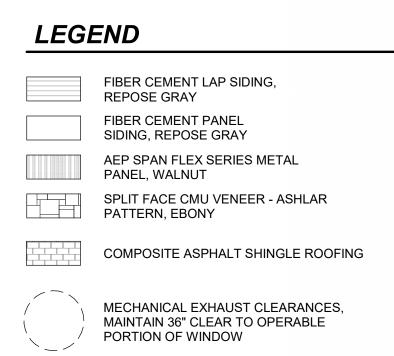
44'-1 1/4"

11'-1"

3" / 12"



DRAWN BY:

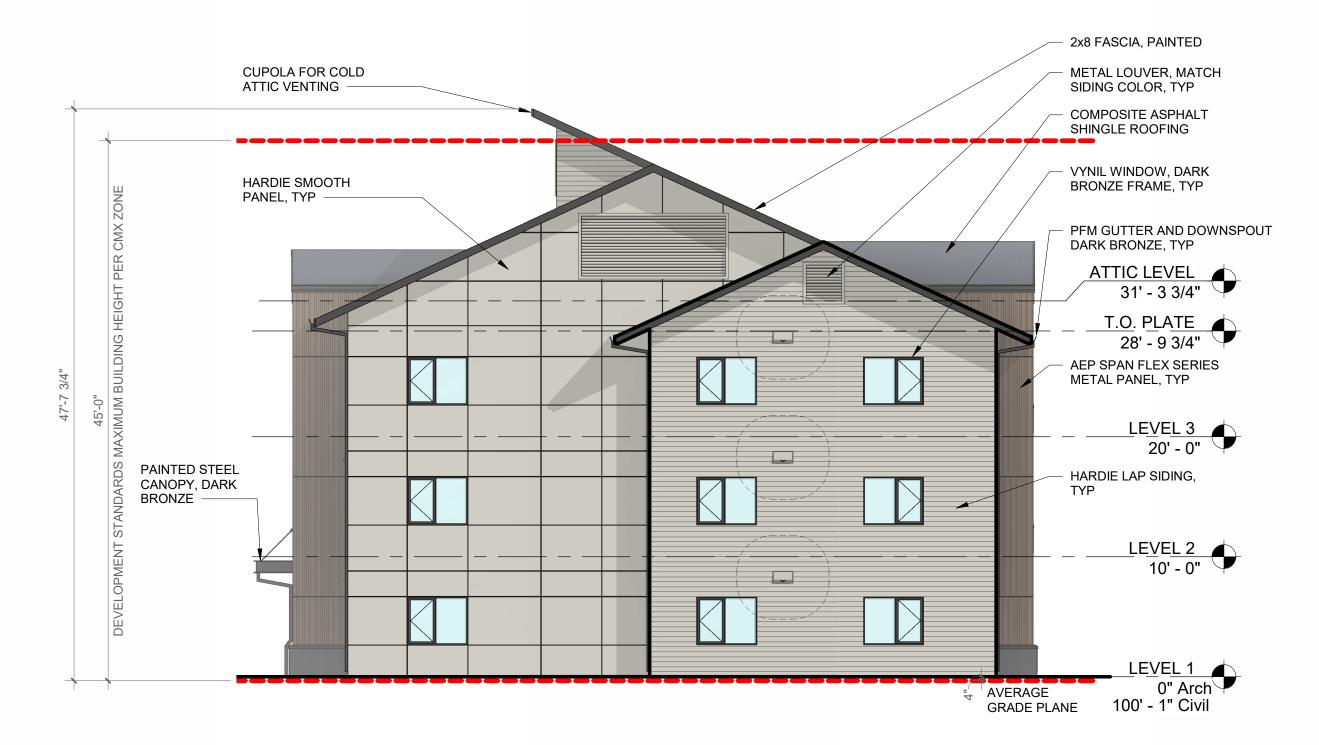






1. NORTH ELEVATION

LU-4 SCALE: 1/8" = 1'-0"



SHEET TITLE: **EXTERIOR ELEVATIONS** 

DRAWN BY:

2. EAST ELEVATION

LU-4 SCALE: 1/8" = 1'-0"



PRELIMINARY NOT FOR CONSTRUCTION

CONSULTANT:

PRE-FINISHED METAL

2x8 FASCIA, PAINTED

 VYNIL WINDOW DARK BRONZE FRAME, TYP

DARK BRONZE, TYP

ATTIC LEVEL 31' - 3 3/4"

T.O. PLATE 28' - 9 3/4"

- AEP SPAN FLEX SERIES METAL PANEL, SIERRA TAN, TYP

LEVEL 3 20' - 0"

LEVEL 2 10' - 0"

PFM FLASHING TRIM,

MATCH SIDING COLOR

LEVEL 1

AVERAGE 0" Arch

GRADE PLANE 100' - 1" Civil

HOLLOW METAL DOOR, PAINTED, TYP

CHANNEL, DARK BRONZE

PAINTED STEEL
 GUARDRAIL, DARK BRONZE

- PAINTED STEEL

ALUMINUM GLAZED
 SECTIONAL OVERHEAD DOOR

PRE-FINISHED METAL LOUVER, DARK BRONZE, TYP

SPLIT FACE CMU VENEER,

PFM GUTTER AND DOWNSPOUT,

COLOR

LOUVER, MATCH SIDING

PROJECT NUMBER: WICKIUP

STATION

52695 DRAFTER ROAD LA PINE, OR

SHEET TITLE: **EXTERIOR ELEVATIONS** 

DRAWN BY:

COMPOSITE ASPHALT SHINGLE ATTIC LEVEL 31' - 3 3/4" ROOFING T.O. PLATE 28' - 9 3/4" PFM GUTTER AND DOWNSPOUT, DARK BRONZE VYNIL WINDOW, DARK BRONZE FRAME, TYP —— LEVEL 3 20' - 0" AEP SPAN FLEX SERIES METAL PANEL - PAINTED STEEL
 CANOPY, DARK BRONZE PFM FLASHING TRIM, MATCH SIDING COLOR, TYP LEVEL 2 10' - 0" PRE-FINISHED ALUMINUM STOREFRONT AND DOOR, DARK BRONZE FRAME, TYP — LEVEL 1

O" Arch

GRADE PLANE

100' - 1" Civil

HARDIE SMOOTH PANEL,

EXHAUST VENT, MATCH SIDING COLOR, TYP

- CUPOLA FOR COLD

ATTIC VENTING - COMPOSITE

ASPHALT SHINGLE

ROOFING, TYP

2. WEST ELEVATION

HARDIE SMOOTH PANEL -

LU-5 SCALE: 1/8" = 1'-0"

WOOD FRAMED BALCCONY WITH STEEL FASCIA AND

GUARDRAIL, PAINTED DARK

VINYL DOOR, PAINTED, DARK BRONZE, TYP —

BRONZE

- HARDIE LAP SIDING, TYP

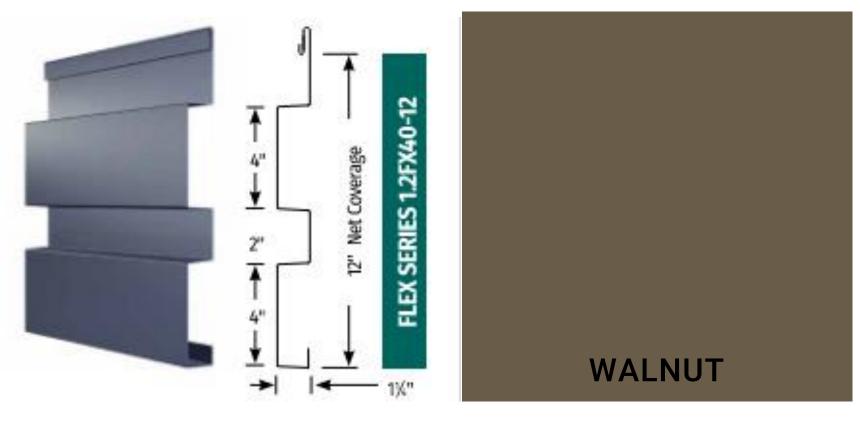
CUPOLA FOR COLD

ATTIC VENTING

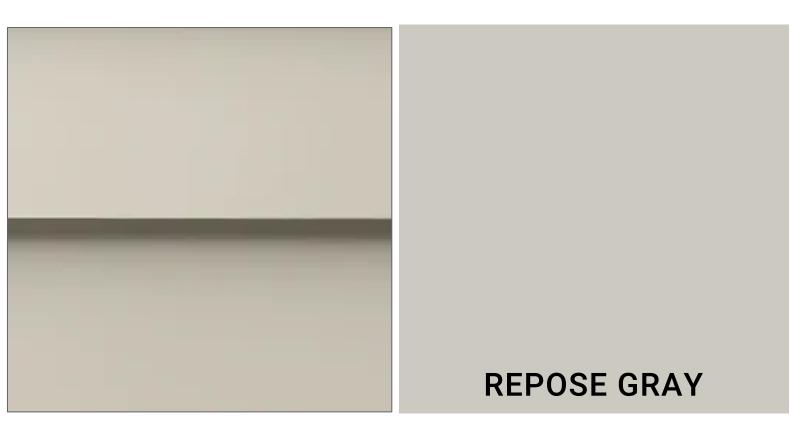
1. SOUTH ELEVATION

LU-5 SCALE: 1/8" = 1'-0"

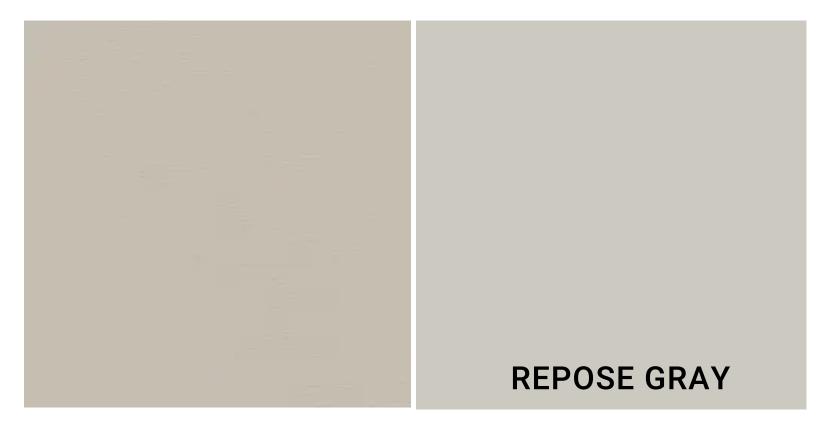
# LAND USE REVIEW - WICKIUP STATION MATERIAL BOARD



AEP SPAN FLEX SERIES METAL PANEL - VERTICAL SIERRA TAN



HARDIE LAP SIDING - PAINTED



HARDIE SMOOTH PANEL SIDING PAINTED



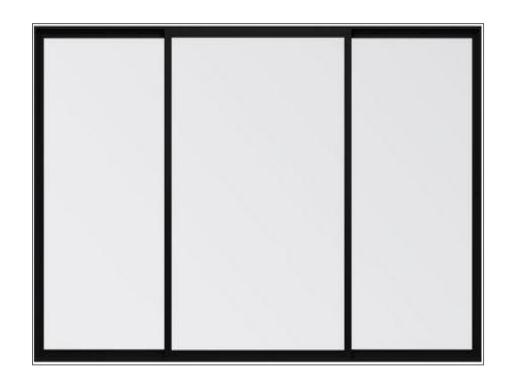
METAL LOUVER - COLORED TO MATCH ADJACENT SIDING



COMPOSITE ASPHALT SHINGLES



ALUMINUM GUARDRAIL – PAINTED DARK BRONZE



VINYL WINDOWS – DARK BRONZE



SPLIT FACE CMU VENEER - EBONY



HARDIE SOFFIT – PAINTED –
COLORED TO MATCH
ADJACENT SIDING



STEEL FRAMED CANOPY PAINTED - DARK BRONZE

# WICKIUP STATION

# 52695 DRAFTER ROAD LA PINE, OR LAND USE SET - 06.27.2024

**EXTERIOR LIGHT FIXTURE CUTSHEETS** 

## MIMIK 10 BOLLARD

# PERFORMANCE IN LIGHTING







Pathway bollard series. Fixtures consist of:

- Multi-step powder-coat painting process, optimized against UV rays and corrosion.
- Copper-free (<1%) precision die-cast aluminum housing and ring/faceplate.
- ¬ Copper-free (<1%) aluminum extruded post.
- ¬ Extra-clear, tempered, silk-screened, flat glass diffuser.
- $\neg \ \ \text{Custom molded, anti-aging gasket(s)}.$
- ¬ Stainless steel external hardware.
- ¬ Custom MCPCB utilized to maximize heat dissipation and promote long LED life.
- ¬ Type II light distribution.
- ¬ Input voltage: 120-277 V (50 / 60 Hz), integral driver.
- Optional, integral, line-voltage, passive infrared motion sensor (PIR SENSOR versions).

- ¬ Pre-wired factory sealed cable for external electrical connection included.
- ¬ Steel ground base plate included for bollards.
- Steel ground base plate available as accessory for HU versions (ordered separately).
- The luminaire may be configured with numerous options and multiple standard finishes. Not all options are available in all configurations. Consult factory for more information about specification sheet details to build your light.
- ¬ Product meets Buy American Act (BAA) requirements within ARRA.
- ¬ 5-year warranty.









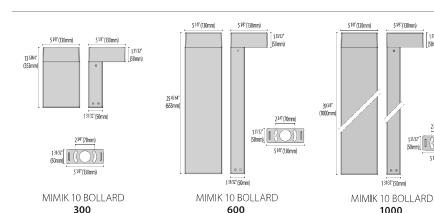


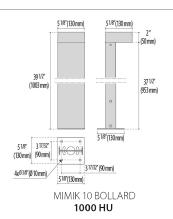




#### **FINISHES**

- AN-96 / Iron gray / Textured
- GR-94 / Aluminum metallic / Textured
- BK-81 / Black / Textured
- **WH-87** / White / Textured
- RB-10 / Iron rust / Textured

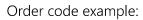






Scan here for installation instructions

#### Order Guide - MIMIK 10 BOLLARD





SERIES	Bollard Height	Wattage	Optics	ССТ	Finish	Voltage	Controls	Accessories
M10BOL  Mimik 10  Bollard	300 14 inch* 600 26 inch*  1000 39 inch*  1000HU 39 inch Heavy Use*  XX Specify Height (10 inch min)	10W 10 watt*  11W 11 watt*  XX Specify wattage must be within range  *Standard Wattages  T2- 11W T3- 10W	T2     Type 2     (11W Max)  T3     Type 3     (10W Max)	3K 3000K*	BK Textured Black  IG Iron Gray*  AM Aluminum Metallic*  WH Textured White  IR Iron Rust  CC Custom Color	UNV 120-277V* 120V 120V Only	NA Non Dim*  0-10V 0-10V Dim  ELV ELV Dim	GFCI 20 amp outlet  OCC Occupancy sensor  LB Large Base (all sizes)  WG Wood Grain accent  DBL Double head fixture ELV Dim  SIGN Custom Signage  Options Shown on Next Page

\*STANDARD OPTION, SHORTER LEAD TIME, NO MOQ\* 70 CRI STANDARD - OTHER OPTIONS AVAILABLE

Tel: 770 822 2115

# **MIMIK 10 BOLLARD**







#### **REQUIRED FOR INSTALLATION** 1000 HU Only - Standard base provided with each non-HU fixture

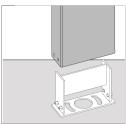
DESCRIPTION	FINISH	PART NUMBER
MIMIK 10 BOLLARD 1000		
Plate HU MIMIK10 POST AM		3112991
Plate HU MIMIK10 POST IG		3112992





This fixture has three base options.

STANDARD BASE - AVAILABLE FOR ALL SIZES (NON-HU)



LARGE BASE - AVAILABLE FOR ALL SIZES (NON-HU)



HU BASE - AVAILABLE FOR 1000 HU VERSIONS ONLY



# **MIMIK 10 BOLLARD**





**LUMEN OUTPUT** 

Distributed Lumen Output

MIMIK 10 BOLLARD (70CRI)									
	2700K	3000K	3500K	4000K	5000K	6500K			
10W	614	633	652	671	690	709			
11W	659	744	829	915	1000	1085			

70 CRI STANDARD - OTHER OPTIONS AVAILABLE



# **D-Series Size 0**

#### LED Area Luminaire











Catalog

Introduction



### ds

#### **Specifications**

0.44 ft<sup>2</sup> EPA: (0.04 m<sup>2</sup>)

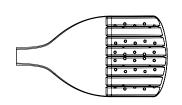
26.18" Length: (66.5 cm)

14.06" Width: (35.7 cm)

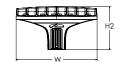
2.26" Height H1: (5.7 cm)

7.46" Height H2: (18.9 cm)

23 lbs Weight: (10.4 kg)







The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect. \*See ordering tree for details



#### **Ordering Information**

#### **EXAMPLE:** DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED												
Series	LEDs Color temperature <sup>2</sup>		Color Rendering Index <sup>2</sup>	Distribution			Voltage		Mounting			
DSXO LED	Forward P1 P2 P3 P4 Rotated P10 P11 P11	P5 P6 P7	(this section 70CRI only) 30K 3000K 40K 4000K 50K 5000K (this section 80CRI only, extended lead times apply) 27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K	70CRI 70CRI 70CRI 80CRI 80CRI 80CRI 80CRI 80CRI	AFR T1S T2M T3M T3LG T4M T4LG TFTM	Type IV medium Type IV low glare 3	T5M T5LG T5W BLC3 BLC4 LCC0 RCC0	Type V medium Type V low glare Type V wide Type III backlight control <sup>3</sup> Type IV backlight control <sup>3</sup> Left corner cutoff <sup>3</sup> Right corner cutoff <sup>3</sup>	MVOLT HVOLT XVOLT 120 <sup>16, 24</sup> 208 <sup>16, 24</sup> 240 <sup>16, 24</sup> 277 <sup>16, 24</sup> 480 <sup>16, 24</sup>	(120V-277V)* (347V-480V) <sup>5,6</sup> (277V-480V) <sup>7,8</sup>	Shippe SPA RPA SPA5 RPA5 SPA8N WBA MA	d included  Square pole mounting (#8 drilling, 3.5" min. SQ pole)  Round pole mounting (#8 drilling, 3" min. RND pole)  Square pole mounting (#5 drilling, 3" min. SQ pole)  Round pole mounting (#5 drilling, 3" min. RND pole)  Square narrow pole mounting (#8 drilling, 3" min. SQ pole)  Wall bracket 10  Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)
	I		l	1	I				1		I	,

Control options			
Shipped install	ed	PER7	Seven-pin rece
NLTAIR2 PIRHN	nLight AIR gen 2 enabled with		(controls ordere
	bi-level motion / ambient sensor,	FA0	Field adjustabl
	8-40' mounting height, ambient sensor enabled at 2fc. 11, 12, 18, 19	BL30	Bi-level switch
PIR	High/low, motion/ambient sensor, 8-40' mounting height, ambient	BL50	Bi-level switch

sensor enabled at 2fc 13, 18, 19 PER NEMA twist-lock receptacle only (controls ordered separate) 14 PER5 Five-pin receptacle only (controls ordered separate) 14,

entacle only red separaté) 14, 19 ole output 15, 19 ned dimming, hed dimming,

DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)

#### Shipped installed

Other options

Houseside shield (black finish standard) 20 Left rotated optics 1 L90 R90 Right rotated optics 1

CCE Coastal Construction 21 50°C ambient operation 22 HA Buy America(n) Act Compliant BAA SF Single fuse (120, 277, 347V) 24

Double fuse (208, 240, 480V) 24

Shipped separately

**EGSR** External Glare Shield (reversible, field install required, matches housing finish) **BSDB** Bird Spikes (field install required)

DDBXD	Dark Bronze
DBLXD	Black
DNAXD	Natural Aluminum
DWHXD	White
DDBTXD	Textured dark bronze
DBLBXD	Textured black
DNATXD	Textured natural aluminum
DWHGXD	Textured white



DF

#### **Ordering Information**

#### Accessories

Ordered and shipped separately

DLL127F 1.5 JU Photocell - SSL twist-lock (120-277V) 23 DLL347F 1.5 CUL JU Photocell - SSL twist-lock (347V) 23 DLL480F 1.5 CUL JU Photocell - SSL twist-lock (480V) 23

DSHORT SBK Shorting cap 23

House-side shield (enter package number P1-7, DSXOHS P#

P10-13 in place of #)

DSXRPA (FINISH) Round pole adapter (#8 drilling, specify finish) DSXRPA5 (FINISH) Round pole adapter #5 drilling (specify finish) Square pole adapter #5 drilling (specify finish) DSXSPA5 (FINISH) DSX0EGSR (FINISH) External glare shield (specify finish)

Bird spike deterrent bracket (specify finish)

NOTES

Rotated optics available with packages P10, P11, P12 and P13. Must be combined with option L90 or R90.

30K, 40K, and 50K available in 70CRI and 80CRI. 27K and 35K only available with 80CRI. Contact Technical Support for other possible combinations.

T3LG, T4LG, BLC3, BLC4, LCCO, RCCO not available with option HS.

MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).

HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).

HVOLT not available with package P1, P2 and P10 when combined with option NLTAIR2 PIRHN or option PIR.

XVOLT operates with any voltage between 27V and 480V (50/60 Hz).

XVOLT not available in packages P1, P2 or P10, XVOLT not available with fusing (SF or DF).

SPAS and RPA5 for use with #5 drilling only (Not for use with #8 drilling).

UKBA cannot be combined with Type 5 distributions plus photocell (PER).

NLTAIR2 and PIRHN not available with other controls including PIR, PER, PERS, PE

DMG not available with NLTAIR2 PIRHIN, PIR, PERF, PERF, BL30, BL50 and FAO. Reference Motion Sensor Default Settings table on page 4 to see functionality. Reference Controls Options table on page 4.

Option HS not available with T3LG, T4LG, BLC3, BLC4, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information. CCE option not available with option BS and EGSR. Contact Technical Support for availability.

Option HA not available with performance packages P6, P7, P12 and P13.

Requires luminaire to be specified with PER, PERS or PER7 option. See Controls Table on page 4.

Single fuse (SF) requires 120V, 277V, or 347V. Double fuse (DF) requires 208V, 240V or 480V. XVOLT not available with fusing (SF or DF).

#### **Shield Accessories**



External Glare Shield (EGSR)



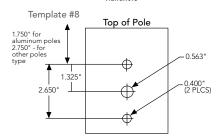
House Side Shield (HS)

#### **Drilling**

#### **HANDHOLE ORIENTATION**

(from top of pole)

Handhole



#### **Tenon Mounting Slipfitter**

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

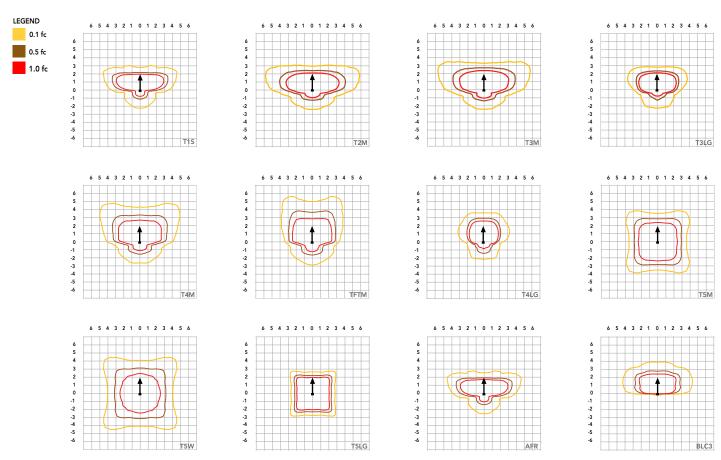
		1	1				
				₹	_T_	Y	
Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
			M	linimum Acceptable	Outside Pole Dimer	sion	
SPA	#8	3.5"	3.5"	3.5"	3.5"		3.5"
RPA	#8	3"	3"	3"	3"	3"	3"
SPA5	#5	3"	3"	3"	3"		3"
RPA5	#5	3"	3"	3"	3"	3"	3"
SPA8N	#8	3"	3"	3"	3"		3"

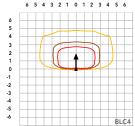
#### **DSX0** Area Luminaire - EPA

\*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

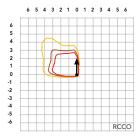
Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type			L.	<u>-1</u> -	Y	
DSX0 with SPA	0.44	0.88	0.96	1.18		1.16
DSX0 with SPA5, SPA8N	0.51	1.02	1.06	1.26		1.29
DSX0 with RPA, RPA5	0.51	1.02	1.06	1.26	1.24	1.29
DSX0 with MA	0.64	1.28	1.24	1.67	1.70	1.93

Isofootcandle plots for the DSX0 LED P7 40K 70CRI. Distances are in units of mounting height (20').









#### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Amb	Ambient					
0°C	32°F	1.04				
5°C	41°F	1.04				
10°C	50°F	1.03				
15℃	50°F	1.02				
20°C	68°F	1.01				
25°C	77°C	1.00				
30°C	86°F	0.99				
35℃	95°F	0.98				
40°C	104°F	0.97				

#### **Projected LED Lumen Maintenance**

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.94
50,000	0.89
100,000	0.80

#### **FAO Dimming Settings**

FAO Position	% Wattage	% Lumen Output
8	100%	100%
7	93%	95%
6	80%	85%
5	66%	73%
4	54%	61%
3	41%	49%
2	29%	36%
1	15%	20%

\*Note: Calculated values are based on original performance package data. When calculating new values for given FAO position, use published values for each package based on input watts and lumens by optic type.

#### Electrical Load

Liectrical	Load						Curre	nt (A)		
	Performance Package	LED Count	Drive Current (mA)	Wattage	120V	208V	240V	277V	347V	480V
	P1	20	530	34	0.28	0.16	0.14	0.12	0.10	0.07
	P2	20	700	45	0.38	0.22	0.19	0.16	0.13	0.09
	P3	20	1050	69	0.57	0.33	0.29	0.25	0.20	0.14
Forward Optics (Non-Rotated)	P4	20	1400	94	0.78	0.45	0.39	0.34	0.27	0.19
	P5	40	700	89	0.75	0.43	0.38	0.33	0.26	0.19
	P6	40	1050	136	1.14	0.66	0.57	0.49	0.39	0.29
	P7	40	1300	170	1.42	0.82	0.71	0.62	0.49	0.36
	P10	30	530	51	0.42	0.24	0.21	0.18	0.15	0.11
Rotated Optics	P11	30	700	67	0.57	0.33	0.28	0.25	0.20	0.14
(Requires L90 or R90)	P12	30	1050	103	0.86	0.50	0.43	0.37	0.30	0.22
	P13	30	1300	129	1.07	0.62	0.54	0.46	0.37	0.27

#### **LED Color Temperature / Color Rendering Multipliers**

	70 CRI		80	OCRI	90CRI		
	Lumen Multiplier	Availability	Lumen Multiplier	Availability	Lumen Multiplier	Availability	
5000K	102%	Standard	92%	Extended lead-time	71%	(see note)	
4000K	100%	Standard	92%	Extended lead-time	67%	(see note)	
3500K	100%	(see note)	90%	Extended lead-time	63%	(see note)	
3000K	96%	Standard	87%	Extended lead-time	61%	(see note)	
2700K	94%	(see note)	85%	Extended lead-time	57%	(see note)	

Note: Some LED types are available as per special request. Contact Technical Support for more information.

#### **Motion Sensor Default Settings**

Option	Unoccupied Dimmed Level	High Level (when occupied)	Phototcell Operation	Dwell Time	Ramp-up Time	Dimming Fade Rate	
PIR	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min	
NLTAIR2 PIRHN	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min	

#### **Controls Options**

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS (not available on DSX0)	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PER5 or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire. Cannot be used with other controls options that need the 0-10V leads.
PIR	Motion sensor with integral photocell. Sensor suitable for 8' to 40' mounting height.	Luminaires dim when no occupancy is detected.	Acuity Controls rSBG	Cannot be used with other controls options that need the 0-10V leads.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclypse.	nLight Air rSBG	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app. Cannot be used with other controls options that need the 0-10V leads.
BL30 or BL50	Integrated bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output	BLC device provides input to 0-10V dimming leads on all drivers providing either 100% or dimmed (30% or 50%) control by a secondary circuit	BLC UVOLT1	BLC device is powered off the 0-10V dimming leads, thus can be used with any input voltage from 120 to 480V



#### **Performance Data**

#### **Lumen Output**

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Forward Optics																						
Performance			Drivo				30K					40K			50K							
Package	System Watts	LED Count	Drive Current (mA)	Distribution Type			00K, 70				_	OK, 70					00K, 70					
				T1S	Lumens 4,906	1 B	0	<b>G</b>	148	Lumens 5,113	B 1	0	<b>G</b>	154	Lumens 5,213	1 1	0	<b>G</b> 1	157			
			T2M	4,545	1	0	2	137	4,736	1	0	2	143	4,829	1	0	2	145				
				T3M	4,597	1	0	2	138	4,791	1	0	2	144	4,885	1	0	2	147			
				T3LG	4,107	1	0	1	124	4,280	1	0	1	129	4,363	1	0	1	131			
				T4M	4,666	1	0	2	141	4,863	1	0	2	146	4,957	1	0	2	149			
				T4LG	4,244	1	0	1	128	4,423	1	0	1	133	4,509	1	0	1	136			
D1	22111	20	E20	TFTM	4,698	1	0	2	141	4,896	1	0	2	147	4,992	1	0	2	150			
P1	33W	20	530	T5M T5W	4,801 4,878	3	0	1	145 147	5,003 5,084	3	0	2	151 153	5,101 5,183	3	0	2	154 156			
				T5LG	4,814	2	0	1	145	5,018	2	0	1	151	5,115	2	0	1	154			
				BLC3	3,344	0	0	1	101	3,485	0	0	1	105	3,553	0	0	1	107			
				BLC4	3,454	0	0	2	104	3,599	0	0	2	108	3,670	0	0	2	111			
				RCCO	3,374	0	0	1	102	3,517	0	0	1	106	3,585	0	0	1	108			
				LCCO	3,374	0	0	1	102	3,517	0	0	1	106	3,585	0	0	1	108			
				AFR T1S	4,906 6,328	1	0	1	148 140	5,113 6,595	1	0	1	154 146	5,213 6,724	1	0	1	157 149			
				T2M	5,862	1	0	2	130	6,109	1	0	2	135	6,228	1	0	2	138			
				T3M	5,930	1	0	3	131	6,180	1	0	3	137	6,301	1	0	3	140			
				T3LG	5,297	1	0	1	117	5,521	1	0	1	122	5,628	1	0	1	125			
				T4M	6,018	1	0	3	133	6,272	1	0	3	139	6,395	1	0	3	142			
				T4LG	5,474	1	0	1	121	5,705	1	0	1	126	5,816	1	0	1	129			
פס	4EW	20	700	TFTM T5M	6,060 6,192	3	0	3	134 137	6,316 6,453	3	0	3	140 143	6,439 6,579	3	0	3	143 146			
F2	P2 45W	20	700	T5W	6,293	3	0	2	139	6,558	3	0	2	145	6,686	3	0	2	148			
				T5LG	6,210	2	0	1	138	6,472	3	0	1	143	6,598	3	0	1	146			
				BLC3	4,313	0	0	2	96	4,495	0	0	2	100	4,583	0	0	2	102			
				BLC4	4,455	0	0	2	99	4,643	0	0	2	103	4,733	0	0	2	105			
				RCCO	4,352	0	0	2	96	4,536	0	0	2	100	4,624	0	0	2	102			
				LCCO AFR	4,352 6,328	1	0	2	96 140	4,536 6,595	1	0	1	100 146	4,624 6,724	1	0	2	102 149			
				T1S	9,006	1	0	2	131	9,386	1	0	2	136	9,569	1	0	2	139			
						T2M	8,343	2	0	3	121	8,694	2	0	3	126	8,864	2	0	3	129	
						T3M	8,439	2	0	3	122	8,795	2	0	3	128	8,967	2	0	3	130	
					T3LG	7,539	1	0	2	109	7,857	1	0	2	114	8,010	1	0	2	116		
									T4M	8,565	2	0	3	124	8,926	2	0	3	129	9,100	2	0
				T4LG TFTM	7,790	1	0	3	113 125	8,119 8,988	1	0	3	118 130	8,277	1	0	3	120 133			
P3	69W	20	1050	T5M	8,624 8,812	3	0	2	123	9,184	4	0	2	133	9,163 9,363	2	0	2	136			
1.5	0511	20	1050	T5W	8,955	4	0	2	130	9,333	4	0	2	135	9,515	4	0	2	138			
				T5LG	8,838	3	0	1	128	9,211	3	0	1	134	9,390	3	0	1	136			
				BLC3	6,139	0	0	2	89	6,398	0	0	2	93	6,522	0	0	2	95			
				BLC4	6,340	0	0	3	92	6,607	0	0	3	96	6,736	0	0	3	98			
				RCCO	6,194	1	0	2	90	6,455	1	0	2	94	6,581	1	0	2	95			
				LCCO AFR	6,194 9,006	1	0	2	90	6,455 9,386	1	0	2	94 136	6,581 9,569	1	0	2	95 139			
				T1S	11,396	1	0	2	122	11,877	1	0	2	128	12,109	2	0	2	130			
				T2M	10,557	2	0	3	113	11,003	2	0	3	118	11,217	2	0	3	121			
				T3M	10,680	2	0	3	115	11,130	2	0	3	120	11,347	2	0	3	122			
				T3LG	9,540	1	0	2	103	9,942	1	0	2	107	10,136	1	0	2	109			
				T4M	10,839	2	0	3	117	11,296	2	0	3	121	11,516	2	0	4	124			
				T4LG TFTM	9,858 10,914	2	0	3	106 117	10,274	1	0	3	110 122	10,474	1	0	3	113 125			
P4	93W	20	1400	T5M	11,152	4	0	2	120	11,374 11,622	4	0	2	125	11,596 11,849	4	0	2	127			
	,,,,,	20	1 100	T5W	11,332	4	0	3	122	11,811	4	0	3	127	12,041	4	0	3	129			
				T5LG	11,184	3	0	1	120	11,656	3	0	2	125	11,883	3	0	2	128			
				BLC3	7,768	0	0	2	83	8,096	0	0	2	87	8,254	0	0	2	89			
				BLC4	8,023	0	0	3	86	8,362	0	0	3	90	8,524	0	0	3	92			
				RCCO	7,838	1	0	2	84	8,169	1	0	2	88	8,328	1	0	2	90			
				LCCO AER	7,838	1	0	2	122	8,169	1	0	2	128	8,328	1	0	2	90			
				AFR	11,396	1	0	2	122	11,877	1	0	2	128	12,109	2	0	2	130			



#### **Performance Data**

#### **Lumen Output**

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Forward Opt	Forward Optics																															
Defenses							30K					40K					50К															
Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type				(40	00K, 70	CRI)			(50	00K, 70	CRI)																	
ruchage			current (m/t)		Lumens	В	U	G	LPW	Lumens	В	U	G	LPW	Lumens	В	U	G	LPW													
				T1S	12,380	2	0	2	137	12,902	2	0	2	143	13,154	2	0	2	146													
				T2M	11,468	2	0	3	127	11,952	2	0	3	133	12,185	2	0	3	135													
				T3M	11,601	2	0	3	129	12,091	2	0	3	134	12,326	2	0	4	137													
				T3LG	10,363	2	0	2	115	10,800	2	0	2	120	11,011	2	0	2	122													
				T4M	11,774	2	0	4	131	12,271	2	0	4	136	12,510	2	0	4	139													
				T4LG	10,709	1	0	2	119	11,160	2	0	2	124	11,378	2	0	2	126													
Dr.	90W	40	700	TFTM T5M	11,856	2	0	3	132	12,356	2	0	2	137	12,596	2	0	4	140													
P5	90W	40	700	T5W	12,114	4	0	2	134 137	12,625	4	0	3	140 142	12,871	4	0	2	143 145													
				T5LG	12,310 12,149	3	0	2	135	12,830 12,662	3	0	2	141	13,080 12,908	3	0	2	143													
				BLC3	8,438	0	0	2	94	8,794	0	0	2	98	8,966	0	0	2	99													
				BLC4	8,715	0	0	3	97	9,083	0	0	3	101	9,260	0	0	3	103													
				RCCO	8,515	1	0	2	94	8,874	1	0	2	98	9,047	1	0	2	100													
				LCCO	8,515	1	0	2	94	8,874	1	0	2	98	9,047	1	0	2	100													
				AFR	12,380	2	0	2	137	12,902	2	0	2	143	13,154	2	0	2	146													
																	T1S	17,545	2	0	3	128	18,285	2	0	3	133	18,642	2	0	3	136
				T2M	16,253	3	0	4	119	16,939	3	0	4	124	17,269	3	0	4	126													
				T3M	16,442	2	0	4	120	17,135	3	0	4	125	17,469	3	0	4	128													
				T3LG	14,687	2	0	2	107	15,306	2	0	2	112	15,605	2	0	2	114													
				T4M	16,687	2	0	4	122	17,391	3	0	5	127	17,730	3	0	5	129													
		40		T4LG	15,177	2	0	2	111	15,817	2	0	2	115	16,125	2	0	2	118													
				TFTM	16,802	2	0	4	123	17,511	2	0	4	128	17,852	2	0	5	130													
P6	137W		1050	T5M	17,168	4	0	2	125	17,893	5	0	3	131	18,241	5	0	3	133													
					T5W	17,447	5	0	3	127	18,183	5	0	3	133	18,537	5	0	3	135												
				T5LG	17,218	4	0	2	126	17,944	4	0	2	131	18,294	4	0	2	134													
				BLC3	11,959	0	0	3	87	12,464	0	0	3	91	12,707	0	0	3	93													
				BLC4	12,352	0	0	4	90	12,873	0	0	4	94	13,124	0	0	4	96													
				RCCO	12,067	1	0	3	88	12,576	1	0	3	92	12,821	1	0	3	94													
				LCCO	12,067	1	0	3	88	12,576	1	0	3	92	12,821	1	0	3	94													
				AFR	17,545	2	0	3	128	18,285	2	0	3	133	18,642	2	0	3	136													
				T1S	20,806	2	0	3	122	21,683	2	0	3	127	22,106	2	0	3	129													
				T2M T3M	19,273 19,497	3	0	4 5	113 114	20,086	3	0	5	118	20,478	3	0	5	120													
				T3LG	17,416	2	0	2	102	20,319 18,151	2	0	2	119 106	20,715 18,504	2	0	2	121 108													
				T4M	19,787	3	0	5	116	20,622	3	0	5	121	21,024	3	0	5	123													
				T4LG	17,997	2	0	2	105	18,756	2	0	2	110	19,121	2	0	2	112													
				TFTM	19,924	3	0	5	117	20,765	3	0	5	122	21,170	3	0	5	124													
P7	171W	40	1300	T5M	20,359	5	0	3	119	21,217	5	0	3	124	21,631	5	0	3	127													
.,		40	1300	T5W	20,689	5	0	3	121	21,561	5	0	3	126	21,982	5	0	3	129													
				T5LG	20,418	4	0	2	120	21,279	4	0	2	125	21,694	4	0	2	127													
				BLC3	14,182	0	0	3	83	14,780	0	0	3	87	15,068	0	0	3	88													
				BLC4	14,647	0	0	4	86	15,265	0	0	4	89	15,562	0	0	4	91													
				RCCO	14,309	1	0	3	84	14,913	1	0	3	87	15,204	1	0	3	89													
				LCCO	14,309	1	0	3	84	14,913	1	0	3	87	15,204	1	0	3	89													
				AFR	20,806	2	0	3	122	21,683	2	0	3	127	22,106	2	0	3	129													



#### **Performance Data**

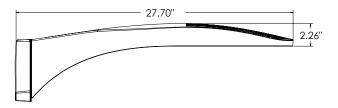
#### **Lumen Output**

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

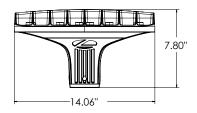
Rotated Opt	Rotated Optics																			
Performance			Drive				30K					40K			50K (5000K, 70 CRI)					
Package	System Watts	LED Count	Current (mA)	Distribution Type			00K, 70		LDW	<u> </u>	_	00K, 70	_	LDW		_	_		LDW	
				T1S	7,399	3	0	G 3	LPW 145	<b>Lumens</b> 7,711	<b>B</b>	0	G 3	151	7,862	B 3	0	<b>G</b>	154	
				T2M	6,854	3	0	3	135	7,144	3	0	3	140	7,283	3	0	3	143	
				T3M	6,933	3	0	3	136	7,225	3	0	3	142	7,366	3	0	3	145	
				T3LG	6,194	2	0	2	122	6,455	2	0	2	127	6,581	2	0	2	129	
				T4M	7,036	3	0	3	138	7,333	3	0	3	144	7,476	3	0	3	147	
				T4LG	6,399	2	0	2	126	6,669	2	0	2	131	6,799	2	0	2	134	
				TFTM	7,086	3	0	3	139	7,385	3	0	3	145	7,529	3	0	3	148	
P10	51W	30	530	T5M	7,239	3	0	2	142	7,545	3	0	2	148	7,692	3	0	2	151	
				T5W T5LG	7,357 7,260	3	0	2	145 143	7,667 7,567	3	0	1	151 149	7,816 7,714	3	0	1	154 152	
				BLC3	5,043	3	0	3	99	5,256	3	0	3	103	5,358	3	0	3	105	
				BLC4	5,208	3	0	3	102	5,428	3	0	3	107	5,534	3	0	3	109	
				RCCO	5,089	0	0	2	100	5,303	0	0	2	104	5,407	0	0	2	106	
				LCCO	5,089	0	0	2	100	5,303	0	0	2	104	5,407	0	0	2	106	
				AFR	7,399	3	0	3	145	7,711	3	0	3	151	7,862	3	0	3	154	
				T1S	9,358	3	0	3	138	9,753	3	0	3	143	9,943	3	0	3	146	
				T2M	8,669	3	0	3	127	9,034	3	0	3	133	9,211	3	0	3	135	
				T3M	8,768	3	0	3	129	9,138	3	0	3	134	9,316	3	0	3	137	
				T3LG T4M	7,833 8,899	3	0	3	115 131	8,164 9,274	3	0	3	120 136	8,323 9,455	3	0	3	122 139	
				T4LG	8,093	3	0	3	119	8,435	3	0	3	124	8,599	3	0	3	126	
				TFTM	8,962	3	0	3	132	9,340	3	0	3	137	9,522	3	0	3	140	
P11	68W	30	700	T5M	9,156	4	0	2	135	9,542	4	0	2	140	9,728	4	0	2	143	
				T5W	9,304	4	0	2	137	9,696	4	0	2	143	9,885	4	0	2	145	
				T5LG	9,182	3	0	1	135	9,569	3	0	1	141	9,756	3	0	1	143	
				BLC3	6,378	3	0	3	94	6,647	3	0	3	98	6,777	3	0	3	100	
				BLC4	6,587	3	0	3	97	6,865	3	0	3	101	6,999	3	0	3	103	
				RCCO	6,436	0	0	2	95 95	6,707	0	0	2	99 99	6,838	0	0	2	101	
				LCCO AFR	6,436 9,358	3	0	3	138	6,707 9,753	3	0	3	143	6,838 9,943	3	0	3	101 146	
				T1S	13,247	3	0	3	128	13,806	3	0	3	134	14,075	3	0	3	136	
				T2M	12,271	4	0	4	119	12,789	4	0	4	124	13,038	4	0	4	126	
		20	1050	T3M	12,412	4	0	4	120	12,935	4	0	4	125	13,187	4	0	4	128	
				T3LG	11,089	3	0	3	107	11,556	3	0	3	112	11,782	3	0	3	114	
				T4M	12,597	4	0	4	122	13,128	4	0	4	127	13,384	4	0	4	129	
				T4LG	11,457	3	0	3	111	11,940	3	0	3	116	12,173	3	0	3	118	
Dan	403111			TFTM	12,686	4	0	4	123	13,221	4	0	4	128	13,479	4	0	4	130	
P12	103W	30	1050	T5M T5W	12,960 13,170	4	0	3	125 127	13,507 13,726	4	0	3	131 133	13,770 13,994	4	0	3	133 135	
				T5LG	12,998	3	0	2	126	13,720	3	0	2	131	13,810	3	0	2	134	
				BLC3	9,029	3	0	3	87	9,409	3	0	3	91	9,593	3	0	3	93	
				BLC4	9,324	4	0	4	90	9,718	4	0	4	94	9,907	4	0	4	96	
				RCCO	9,110	1	0	2	88	9,495	1	0	2	92	9,680	1	0	2	94	
				LCCO	9,110	1	0	2	88	9,494	1	0	2	92	9,680	1	0	2	94	
				AFR	13,247	3	0	3	128	13,806	3	0	3	134	14,075	3	0	3	136	
				T1S	15,704	3	0	3	122	16,366	3	0	3	127	16,685	4	0	4	130	
				T2M T3M	14,547 14,714	4	0	4	113 114	15,161 15,335	4	0	4	118	15,457 15,634	4	0	4	120 121	
				T3LG	13,145	3	0	3	102	13,700	3	0	3	119 106	13,967	3	0	3	108	
				T4M	14,933	4	0	4	116	15,563	4	0	4	121	15,867	4	0	4	123	
				T4LG	13,582	3	0	3	105	14,155	3	0	3	110	14,431	3	0	3	112	
				TFTM	15,039	4	0	4	117	15,673	4	0	4	122	15,979	4	0	4	124	
P13	129W	30	1300	T5M	15,364	4	0	2	119	16,013	4	0	2	124	16,325	4	0	2	127	
				T5W	15,613	5	0	3	121	16,272	5	0	3	126	16,589	5	0	3	129	
				T5LG	15,409	3	0	2	120	16,059	3	0	2	125	16,372	4	0	2	127	
				BLC3	10,703	4	0	4	83	11,155	4	0	4	87	11,372	4	0	4	88	
				BLC4	11,054	4	0	4	86	11,520	4	0	4	89	11,745	4	0	4	91	
				RCCO	10,800	1	0	2	84	11,256	1	0	2	87	11,475	1	0	3	89	
				LCCO AFR	10,800	3	0	3	84 122	11,255	3	0	3	87 127	11,475	4	0	3	89 130	
				ALL	15,704	)	U	ز	122	16,366	)	0	)	127	16,685	4	U	4	130	

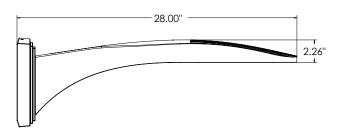


#### **Dimensions**

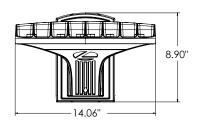


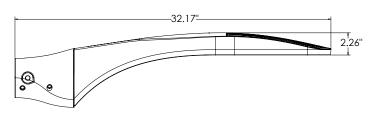
DSXO with RPA, RPA5, SPA5, SPA8N mount Weight: 25 lbs



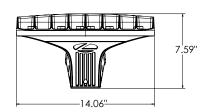


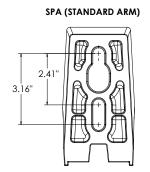
DSX0 with WBA mount Weight: 27 lb

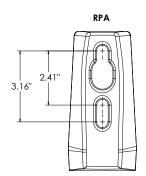


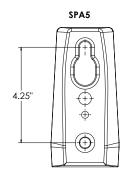


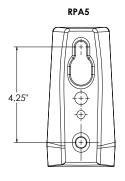
DSX0 with MA mount Weight: 28 lbs

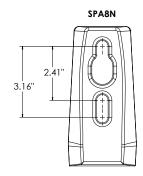










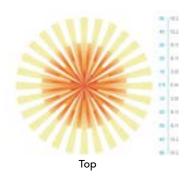


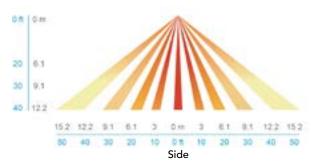
#### nLight Control - Sensor Coverage and Settings

#### nLight Sensor Coverage Pattern

**NLTAIR2 PIRHN** 







#### **FEATURES & SPECIFICATIONS**

#### **INTENDED USE**

The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

#### CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing driver compartment is completely sealed against moisture and environmental contaminants (IP66). Vibration rated per ANSI C136.31 for 3G. Low EPA (0.44 ft²) for optimized pole wind loading.

#### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

#### COASTAL CONSTRUCTION (CCE)

Optional corrosion resistant construction is engineered with added corrosion protection in materials and/or pre-treatment of base material under super durable paint. Provides additional corrosion protection for applications near coastal areas. Finish is salt spray tested to over 5,000 hours per ASTM B117 with scribe rating of 10. Additional lead-times may apply.

#### **OPTICS**

Precision-molded proprietary silicone lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K or 5000 K (70 CRI) configurations. 80CRI configurations are also available. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

#### ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L80/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

#### STANDARD CONTROLS

The DSX0 LED area luminaire has a number of control options. DSX Size 0, comes standard with 0-10V dimming driver. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. PIR integrated motion sensor with on-board photocell feature field-adjustable programing and are suitable for mounting heights up to 40 feet. Control option BL features a bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output.

#### **nLIGHT AIR CONTROLS**

The DSX0 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaries can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclypse. Additional information about nLight Air can be found here.

#### INSTALLATION

Integral mounting arm allows for fast mounting using Lithonia standard #8 drilling and accommodates pole drilling's from 2.41 to 3.12" on center. The standard "SPA" option for square poles and the "RPA" option for round poles use the #8 drilling. For #5 pole drillings, use SPA5 or RPA5. Additional mountings are available including a wall bracket (WBA) and mast arm (MA) option that allows luminaire attachment to a 2 3/8" horizontal mast arm.

#### LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP66 rated. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at <a href="https://www.designlights.org/QPL">www.designlights.org/QPL</a> to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

#### **BUY AMERICAN ACT**

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.

#### WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





#### **FEATURES & SPECIFICATIONS**

INTENDED USE — The CLX is a linear lighting solution that is available in multiple lengths, lumen packages and distributions. Designed for versatility, the CLX can address virtually any indoor lighting need. The CLX is also offered in standard and high efficacy configurations and capable of being continuous row mounted or installed as a stand-alone fixture. Ideal for uplight and downlight in commercial, retail, manufacturing, warehouse, and isplay applications. Certain airborne contaminants can diminish the integrity of acrylic and/or polycarbonate. Click here for Acrylic-Polycarbonate Compatibility table for suitable uses.

**CONSTRUCTION** — Channel and cover are formed from code-gauge cold-rolled steel. Housing and lens endcaps are injection molded plastic to provide a more architectural look and feel. The endcaps come standard with a 7/8" knock out for continuous mounting but can be ordered without.

Finish: Paint options include high-gloss, baked white polyester (WH), galvanized (GALV), matte black (MB) and smoke gray (SKGY). Five-stage iron phosphate pre-treatment ensures superior paint adhesion and rust resistance.

**OPTICS** — Offered with acrylic lens and less lens configurations. Provides a choice of optical distributions including, wide, narrow, and aisle.

Models with wide diffuse lens provide up to 12% uplight. Please check the IES file for specific uplight value.

**ELECTRICAL** — Utilizes high-output LEDs integrated on a two-layer circuit board, ensuring cool-running operation. Optional internal pluggable wiring harness for reduced labor cost in row mounting applications. (See PLR\_ ordering information on page 7.) Electronic LED driver is multi-volt input and 0-10V dimming standard (see Operational Data on page 6 for actual wattage consumption). This fixture is designed to withstand a maximum line surge of 2.5kV at 0.75kA combination wave for indoor locations, for applications requiring higher level of protection additional surge protection must be provided.

L70>100,000 hours at 25°C.

LEDs provide nominal 80 CRI or 90 CRI at 3000 K, 3500 K,4000 K, or 5000 K.

Lumen output up to 2,500 lumens per foot.

**INSTALLATION** — Fixture may be ceiling or wall mounted (with or without THCLX hanger or angle mounted with CLXANGBRT), pendant or stem mounted with appropriate mounting options.

**WARNING** — Removing the lens and opening the fixture during installation exposes the LEDs, putting them at risk for damage.

If you plan to surface mount the fixture, we recommend using the THCLX. This eliminates the need to open the fixture.

If you plan to continuous row mount, we recommend using the PLR wiring harness option. This eliminates the need to open the fixture.

Damage to the LEDs caused during installation will not be covered under the warranty.

**LISTINGS** — CSA certified to US and Canadian safety standards. For use in damp locations between -4°F (-20°C) and 104°F (40°C). Optional High Ambient (HA) ranging to 122°F(50°C) available on certain lumen packages (See ambient temperature chart for additional information).

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at <a href="https://www.designlights.org/QPL">www.designlights.org/QPL</a> to confirm which versions are qualified.

**BUY AMERICAN ACT**— Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to <a href="www.acuitybrands.com/buy-american">www.acuitybrands.com/buy-american</a> for additional information.

**WARRANTY** — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: <a href="https://www.acuitybrands.com/support/warranty/terms-and-conditions">www.acuitybrands.com/support/warranty/terms-and-conditions</a>

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Stock configurations are offered for shorter lead times:

Stock Part Number	UPC
CLX L48 3000LM SEF FDL MVOLT GZ10 40K 80CRI WH	00191723525816
CLX L48 3000LM SEF FDL MVOLT GZ10 50K 80CRI WH	00191723525885
CLX L48 5000LM SEF FDL MVOLT GZ10 40K 80CRI WH	00191723525939
CLX L48 5000LM SEF FDL MVOLT GZ10 50K 80CRI WH	00191723525908
CLX L96 6000LM SEF FDL MVOLT GZ10 40K 80CRI WH	00191723525861
CLX L96 6000LM SEF FDL MVOLT GZ10 50K 80CRI WH	00191723525915
CLX L96 10000LM SEF FDL MVOLT GZ10 40K 80CRI WH	00191723525922
CLX L96 10000LM SEF FDL MVOLT GZ10 50K 80CRI WH	00191723525830
CLX L48 3000LM SEF RDL MVOLT GZ10 40K 80CRI WH	00191723525960
CLX L48 3000LM SEF RDL MVOLT GZ10 50K 80CRI WH	00191723525892
CLX L48 5000LM SEF RDL MVOLT GZ10 40K 80CRI WH	00191723525854
CLX L48 5000LM SEF RDL MVOLT GZ10 50K 80CRI WH	00191723525946
CLX L96 6000LM SEF RDL MVOLT GZ10 40K 80CRI WH	00191723525878
CLX L96 6000LM SEF RDL MVOLT GZ10 50K 80CRI WH	00191723525823
CLX L96 10000LM SEF RDL MVOLT GZ10 40K 80CRI WH	00191723525953
CLX L96 10000LM SEF RDL MVOLT GZ10 50K 80CRI WH	00191723525847

Catalog Number			
Notes			
Туре			













**LED Linear** 











#### **\*\*** Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning when used with Acuity Brands controls products.

All configurations of this luminaire are calibrated and tested to meet the Acuity Brands' specifications for chromatic consistency — including color rendering, color fidelity, and color temperature tolerance around standard CIE chromaticity coordinates.

To learn more about Acuity A+ standards, specifications, and testing visit <a href="https://www.acuitybrands.com/aplus">www.acuitybrands.com/aplus</a>.



design select

Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit <a href="https://www.acuitybrands.com/designselect">www.acuitybrands.com/designselect</a>. \*See ordering tree for details



eries	Length	Nominal lumens	Performance package	Louver		Lens	
LX LED linear	L24 24"	1500LM 1,500 lumens	SEF Standard efficiency #	(Blank)	Less louver	L/Lens	Less lens
		2000LM 2,000 lumens	HEF Premium efficiency ‡	SBLW	Straight blade louver, white ‡	FDL	Flat diffuse ‡
		2500LM 2,500 lumens		SBLMB	Straight blade louver, matte black ‡	RDL	Round diffuse ‡
		3500LM 3,500 lumens		SBLGV	Straight blade louver, galvanized ‡	WDL	Wide diffuse ‡
		4500LM 4,500 lumens		SBLSKGY	Straight blade louver, smoke gray ‡		
		5000LM 5,000 lumens					
	L36 36"	2250LM 2,250 lumens					
		3000LM 3,000 lumens					
		3750LM 3,750 lumens					
		5250LM 5,250 lumens					
		6750LM 6,750 lumens					
		75001 M 7,500 lumens					
	L48 48"	3000LM 3,000 lumens					
		4000LM 4,000 lumens					
		5000LM 5,000 lumens					
		7000LM 7,000 lumens					
		9000LM 9,000 lumens					
		10000LM 10,000 lumens					
	L96 96"	6000LM 6,000 lumens					
		8000LM 8,000 lumens					
		10000LM 10,000 lumens					
		14,000 Lm 14,000 lumens					
		18000LM 18,000 lumens					
		20000LM 20,000 lumens					

Distribution		Voltage					‡	Glare Reflector		Color temperature		Coloring rendering inde	
(Blank)	General	MVOLT	120-277V <b>‡</b>	277	277V	GZ1	Generic 0-10V, dims to 1% ‡	(blank)	No reflectors	30K	3000 K	80CRI	80 CRI
ND	Narrow ‡	120	120V	347	347V <b>‡</b>	GZ10	Generic 0-10V, dims to 10% ‡	LUGR	Reflectors for	35K	3500 K	90CRI	90 CRI
WD	Wide ‡	208	208V <b>‡</b>	480	480V <b>‡</b>	EZ1	eldoLED 0-10V, dims to 1% ‡		additional glare	40K	4000 K		
AD2	Aisle, 24° off center ‡	240	240V <b>‡</b>						reduction ‡	50K	5000 K		

<b>Options</b>						Finish	
PS1050	Emergency battery pack, 10W, CA Title 20 Noncompliant ‡	PLR	Plug-in wiring, see page 14 for ordering information	nLight® Wired	l <u>:</u> nLight® without lumen	WH GALVW	White Galvanized with
E10WLCP	Emergency battery pack, 10W Linear Constant Power, Certified in CA Title 20 MAEDBS ‡	PLR1G PLR1LVG	Plug-in wiring, single circuit, Ground Plug-in wiring, single circuit, low-voltage dimming, Ground ‡	N100EMG	management  nLight® without lumen management For use with	GALVB	white lens end caps Galvanized with
BGTD	Generator transfer device, not available with PS1050 ‡	RRL	RELOC®-ready luminaire. See page 14 for ordering information	NES7	generator supply EM power ‡ nLight® nES 7 PIR integral	dalvb	black lens end caps
OCS	5', 18/3 Reloc selectable One Pass cable (fixture will bear dry location label) ‡	SPD	Surge protection device, provides up to 6kV protection ‡	NESPDT7	occupancy sensor ‡ nLight® nES PDT 7 dual	MB	Matte black
НА	High ambient, for use in ambient temperatures up to 50°C ‡	BAA nLight® Wireless:	Buy America(n) Act Compliant	NESI DI7	technology integral occupancy control ‡	SKGYW	Smoke gray with white lens end
EPNKO OUTCTR	Decorative endplate, no knock out ‡ Wiring leads pulled through back center of fixture ‡	NLTAIR2 RES7	nLight AIR Generation 2 enabled PIR integral occupancy sensor with automatic dimming photocell #	NES7ADCX	nLight® nES 7 ADCX PIR integral occupancy sensor with automatic dimming	SKGYB	caps Smoke gray with black lens end caps
OUTEND  Cord Sets: ‡	Wiring leads pulled through end of fixture \$	NLTAIR2 RES7EM	nLight AIR Generation 2 enabled PIR integral occupancy sensor with automatic dimming photocell and UL924 Emergency operation, via power interrupt detection.	NESPDT7ADCX	photocell ‡ nLight® nES PDT 7 dual technology integral occupancy sensor with automatic		caps
CS1W CS3W CS7W CS11W	6' Staight blade plug, 120V ‡ NEMA twist-lock plug, 120V ‡ Staight blade plug, 277V ‡	NLTAIR2 RES7PDT	nLight AIR Generation 2 enabled dual technology integral occupancy sensor with automatic dimming photocell‡	Individual cor MSD7	PIR integral occupancy sensor		
CS25W	NEMA twist-lock plug, 277V <b>‡</b> NEMA twist-lock plug, 347V <b>‡</b>	NLTAIR2 RES7PDTEM	nLight AIR Generation 2 enabled dual technology integral occupancy sensor with	MSDPDT7	PDT 7 dual technology integral occupancy control		
CS97W CS93W	NEMA twist-lock plug, 480V ‡ 600V SE00W white cord, no plug (no voltage required)		automatic dimming photocell and UL924 Emergency operation, via power interrupt detection‡	MSD7ADC	PIR integral occupancy sensor with automatic dimming control photocell		
CS6WG16STOWD5D	6' white cord, 16/5, no plug, includes low voltage dimming wires (no voltage required) ‡	NLTAIR2 RIO NLTAIR2 RIOEM	No sensor control *  No sensor, Control Input function only and UL924 Emergency operation, via power interrupt detection *	MSDPDT7ADC	PDT integral occupancy sensor with automatic dimming control photocell	See Access	sories and footnote age



# **CLX** LED Linear

Accessories: Ord	ler as separate catalog number.		
Mounting: ZACVH M100 ZAC120 ZACFP120 ZACFPD120 ZAC240 ZACFP240 ZACFP240 ZACFPD240	Adjustable 10' aircraft cable with Y hanger (1 pair) One adjustable aircraft cable with canopy 120", white One adjustable aircraft cable with feed (3 conductor) and canopy, 120", white One adjustable aircraft cable with feed (5 conductor) and canopy 120", white One adjustable aircraft cable with canopy 240", white One adjustable aircraft cable with feed (3 conductor) and canopy, 240", white One adjustable aircraft cable with feed (5 conductor) and canopy 240", white	SQTHCLXCLXANGBKTHC36 M12  Wireguards: WGCLX24WGCLX36WGCLX48	Swivel stem hanger (specify length in 2" increments up to 48") Ships White Tong hanger (Must specify color) (one pair) ‡ Angle bracket, (Must specify color) (one pair) ‡ Hanger chain, 36" (1 pair)  24" wireguard, (Must specify color) ‡ 36" wireguard, (Must specify color) ‡ 48" wireguard, XX, (Must specify color) 96" fixture requires two ‡

	‡ Option Value Ordering Restrictions
Option value	Restriction
347V, 480V	Voltage selected utilizes a step-down transformer. Not available with L24 when ordered with N100. Not available with PS1050, E10WLCP or BGTD option.
BGTD	Not available with MVOLT, 208V or 240V. Not available with HA. Available with L48 or L96 only. 20 Not available with PS1050 or E10WLCP options. Not available with 208 or 240V. Not available Individual controls, NLight Wired, or NLight Wireless options.
CS1W, CS3W, CS7W, CS11W, CS25W, CS963W, CS97W	Not available with BGTD option. Must specify voltage. Not available with PLR options.
CS6WG16STOWD5D	Not available with Individual controls, nLight wired networking, nLight wireless networking, nLight wireless zone control options.
Driver	When continuous row mounting, fixtures must all have the same driver selection.
E10WLCP	Not available with OUTCR, Not available with HA. Not available with 347V or 480V. Not available with BGTD option. Requires SPD option. Not available with L24 or L36. Not available with L48 in combination with N100.
EPNKO	Not available OUTEND.
EZ1	Not available with HA option. Not available with 5000LM, 7500LM.
FDL, RDL, WDL	Only available with general distribution. Not available with CLXRN accessories.
GZ1, GZ10	Not available with Individual controls, nLight wired networking, nLight wireless networking, nLight wireless zone control options.
НА	Not available with L24, L26, Not available with BGTD option. Not available with EZ1. Only available with L48 3000/4000/5000LM and L96 6000/8000/10000LM.
HEF	not available with L48 3000LM and L96 6000LM
LUGR	Not available with L36 length. Only available with WH finish. Not compatible with THCLX Hanger or wireguard accessories. LUGR option required for some DLC premium qualifications - Please check the DLC Qualified Products List to determine if LUGR option is necessary to meet requirement. If mounting in continuous rows, ensure all models ordered with LUGR option if required on any configuration to ensure rows match in form factor. LUGR reflectors ship in standard fixture carton and are not sold as separate accessory - this option MUST be specified as part of the CLX model number.
MSD7, MSDPDT7, MSD7ADC, MSDPDT7ADC	Not available with any other control option. Requires EZ1. Sensor housing will be the same color as lens end caps.
N100, N100EMG	nLight EMG option requires a connection to existing nLight network. Power is provided from separate N100 enabled fixture.
ND, WD, AD2	Not available with CLXRN accessories. Available L/LENS only.
NES7, NESPDT7, NES7ADCX, NESPDT7ADCX	Not available with any other control option. Requires EZ1. Requires N100 or N100EMG option, N100EMG with NES7 requires RFA. Sensor housing will be the same color as lens end caps.
NLTAIR2 RES7(EM), NLTAIR2 RES7PDT(EM), NLTAIR2 RIO(EM)	Not available with L96 14000LM, 18000LM, 20000LM. Sensor housing will be the same color as lens end caps. For EM, see UL924 Sequence of Operation chart below.
OCS	Must specify voltage.
OUTCR	Not available with L24, Not available with PLR options.
OUTEND	Not available with PLR options.
PLR1LVG	Not available with Individual controls, NLight Wired, or NLight Wireless options. Refer to page 14 for more PLR details.
PS1050	Not available with 347V or 480V. Not available with BGTD option. Requires SPD option. Not available with L24 or L36. Not available with L48 in combination with N100. Not availablewith HA.
SBLW, SBLMB, SBLGV, SBLSKGY	When ordered with L24 only available with 1500LM or 2000LM in combination with GZ10 driver. Not for use with THCLX, CLXANGBKT or WGCLX accessories. Not available with RDL lens options.
SEF	Not available with EZ1 when ordered with L24 with 5000LM or L36 with 7500LM.
SPD	Required with PS1050, E10WLCP, BGTD, XAD, or XAD924.
THCLX, CLXANGBKT	Not available with louver or wireguards. THCLX not available with LUGR.
Wireguards	Not for use with LUGR option.

## **UL924 Sequence of Operation**

The below information applies to all nLight AIR devices with an EM option.

- EM devices will remain at their high-end trim and ignore wireless lighting control commands, unless a normal-power-sensed (NPS) broadcast is received at least every 8 seconds.
- Using the CLAIRITY+ mobile app, EM devices must be associated with a group that includes a normal power sensing device to receive NPS broadcasts.
- Only non-emergency rPP20, rLSXR, rSBOR, rSDGR, and nLight AIR luminaires with version 3.4
  or later firmware can provide normal power sensing for EM devices. See specification sheets
  for control devices and luminaires for more information on options that support normal
  power sensing.



# **OPTIONS AND ACCESSORIES**





Wireguard
Ships separately from fixture:
96" fixture requires two WGCLX48.
Order as:

WGCLX24\_ WGCLX36 WGCLX48\_

## LUGR glare reflector

NOT available as accessory - must be specified as part of the fixture nomenclature. See ordering notes on page 3.



## Aircraft Cable with Canopy

Available in 120" or 240" Order as: ZAC120 ZAC240



# HANGER CHAIN

36" chain with Y hanger. ships as a pair Order as: HC36



# **ZACVH HANGER**

10' Aircraft cable with Y hanger. Order as: ZACVH



## Tong hanger

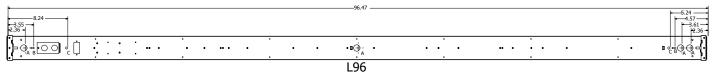
Ships as a pair Order As: THCLX\_\_\_

# **DIMENSIONS**

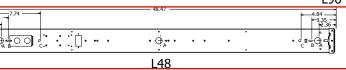
All dimensions are in inches (centimeters) unless otherwise indicated. Dimensions may vary with options or accessories.

INTEGRATED SENSOR ADDS 2.0 INCHES TO STANDALONE FIXTURE LENGTH HOUSING END CAP ADDS 0.236 INCHES TO FIXTURE LENGTH PER SIDE. DIMENSIONS BELOW INCLUDE ENDCAPS.

A - 7/8" KNOCK OUT B - 0.5" by 0.16" SLOT C - 0.3" DIA HOLE



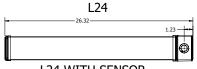




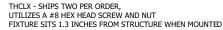


# **PALLET DIMENSIONS**

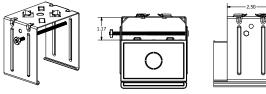
Length	Approx Weight	Fixtures per pallet	Pallet Dims (L X W X H)
L24	4 lb	100	54x46x37
L36	5 lb	80	54x46x37
L48	7.5 lb	64	54x46x37
L96	14 lb	64	98x46x37

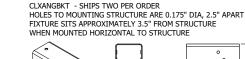


L24 WITH SENSOR



L36

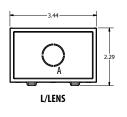


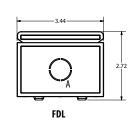


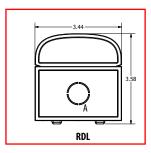


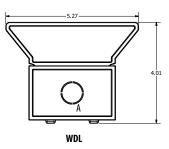


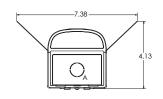












**LUGR Reflector Option** - applies to all lens types

# **PHOTOMETRICS**

See www.lithonia.com.



# **POWER SENTRY EMERGENCY BATTERY PACKS**

		SEF Emergency Lumens	HEF Emergency Lumens
<u>PS1050</u>	Factory installable	1400	1500
E10WLCP	Factory installable	1400	1500
<u>PS1555LCP</u>	Field installable, remote mount only	2000	2100

Note: For emergency lumen output of specific model, please consult factory. One board will be illuminated during emergency operation.

# **CLX CHARACTERISTICS**

Nominal					Wat	tage				Lamath	Width	Danish				
Lumen	Length		Standard	Efficiency		High Efficiency				Length	wiath	Depth	Comparable Light Source			
Package		120V	277V	347V	480V	120V	277V	347V	480V	Dimensio	ns are showr	in inches				
2500LM	24"	18.4	18.4	24.0	24.0	17.4	17.4	23.1	23.1	24	3.5	3.75	1-lamp 32W T8, 1-lamp 54W T5H0, 50W HID			
5000LM	24"	41.5	41.5	47.4	47.4	38.1	38.1	44.1	44.1	24	3.5	3.75	2-lamp 32W T8, 1-lamp 54W T5H0, 70W HID			
3750LM	36"	26.5	26.5	32.1	32.1	25.1	25.1	30.7	30.7	36	3.5	3.75	1-lamp 32W T8, 1-lamp 54W T5H0, 50W HID			
7500LM	36"	62.6	62.6	68.6	68.6	54.0	54.0	59.7	59.7	36	3.5	3.75	2-lamp 32W T8, 1-lamp 54W T5H0, 70W HID			
5000LM	48"	31.8	31.8	37.2	37.2	30.3	30.3	35.8	35.8	48	3.5	3.75	2-lamp 32W T8, 1-lamp 54W T5H0, 70W HID			
10000LM	48"	70.7	70.7	76.2	76.2	65.3	65.3	70.8	70.8	48	3.5	3.75	3-lamp 32W T8, 2-lamp 54W T5H0, 100W HID			
10000LM	96"	63.7	63.7	69.0	69.0	60.6	60.6	66.1	66.1	96	3.5	3.75	3-lamp 32W T8, 2-lamp 54W T5H0, 100W HID			
20000LM	96"	141.3	141.3	146.8	146.8	130.5	130.5	136.1	136.1	96	3.5	3.75	6-lamp 32W T8, 4-lamp 54W T5H0, 200W HID			

**Note:** For wattage by configuration, please reference the <u>CLX Operational Data Document</u>.

		UGR Values of CLX L24 @ 80CRI and 3500K UGR (70% 50% 20% reflectance using a 4H x 8H room size)												
Lumen Package	FI	FDL		RDL		DL	FDL LUGR		RDL LUGR		WDL LUGR		L/LENS	
	Crosswise	Endwise	Crosswise	Endwise	Crosswise	Endwise	Crosswise	Endwise	Crosswise	Endwise	Crosswise	Endwise	Crosswise	Endwise
1500LM SEF	21.2	23.8	19.4	25.2	17.4	21.1	16.8	14	17.8	16.6	18.1	17.9	24.9	25.1
2000LM SEF	22.3	24.9	20.5	26.3	18.6	22.3	17.9	15.1	18.8	17.6	19.2	18.9	26.1	26.2
2500LM SEF	23.1	25.7	21.3	27.1	19.4	23.1	18.6	15.8	19.6	18.4	19.9	19.7	26.9	27
3500LM SEF	24.1	26.7	22.3	28.1	20.4	24.1	19.7	16.9	20.7	19.5	21	20.8	27.9	28.1
4500LM SEF	25.4	28	23.6	29.4	21.7	25.4	20.7	17.9	21.7	20.5	22	21.8	29.2	29.3
5000LM SEF	25.6	28.2	23.3	29.1	21.4	25.1	21	18.3	21.5	20.3	21.8	21.5	29.4	29.5
1500LM HEF	21.1	23.7	19.3	25.1	21.8	25.5	16.5	13.7	17.6	16.3	17.8	17.6	24.9	25
2000LM HEF	22.2	24.8	20.4	26.2	17.4	21.1	17.6	14.8	18.6	17.4	18.8	18.6	26	26.2
2500LM HEF	23	25.7	21.3	27	18.5	22.2	18.4	15.6	19.4	18.2	19.7	19.4	26.8	27
3500LM HEF	24.1	26.7	22.3	28.1	19.3	23	19.8	17	20.9	19.7	21.1	20.9	27.9	28
4500LM HEF	25.3	27.9	23.5	29.3	20.4	24.1	20.8	18	21.8	20.6	22.1	21.8	29.1	29.3
5000LM HEF	25.5	28.1	23.7	29.5	21.6	25.3	21.1	18.3	22.1	20.9	22.3	22.1	29.3	29.5

UGR varies based on luminaire options and is affected by application dependent parameters. Numbers depicted here are considered "Luminaire-UGR and/or "Point-UGR" values. To determine a more precise maximum UGR value ("Application-UGR"), a full lighting design layout should be completed with the selected luminaire configuration for each application

# **CLX** LED Linear

		UGR Values of CLX L36 @ 80CRI and 3500K UGR (70% 50% 20% reflectance using a 4H x 8H room size)										
Lumen Package	F	DL	R	DL	W	DL	L/LENS					
	Crosswise	Endwise	Crosswise	Endwise	Crosswise	Endwise	Crosswise	Endwise				
2250LM SEF	21.4	24.1	19.7	25.6	17.7	21.6	25.2	25.4				
3000LM SEF	22.3	25	20.6	26.5	18.6	22.5	26.2	26.3				
3750LM SEF	23.2	25.9	21.4	27.3	19.5	23.4	27	27.2				
5250LM SEF	24.2	26.9	22.5	28.4	20.5	24.4	28	28.2				
6750LM SEF	25.1	27.8	23.3	29.2	21.4	25.3	28.9	29				
7500LM SEF	25.4	28.1	23.6	29.5	21.7	25.6	29.2	29.4				
2250LM HEF	25	27.7	20.5	26.4	18.6	22.5	25.2	25.3				
3000LM HEF	25.3	28	21.4	27.3	19.4	23.3	26.1	26.2				
3750LM HEF	21.4	24.1	22.4	28.3	20.5	24.4	27	27.1				
5250LM HEF	22.3	25	23.2	29.2	21.3	25.2	28	28.1				
6750LM HEF	23.1	25.8	23.6	29.5	21.6	25.5	28.8	29				
7500LM HEF	24.2	26.8	19.6	25.5	17.7	21.6	29.1	29.3				

UGR varies based on luminaire options and is affected by application dependent parameters. Numbers depicted here are considered "Luminaire-UGR and/or "Point-UGR" values.

To determine a more precise maximum UGR value ("Application-UGR"), a full lighting design layout should be completed with the selected luminaire configuration for each application

		UGR Values of CLX L48 @ 80CRI and 3500K UGR (70% 50% 20% reflectance using a 4H x 8H room size)												
Lumen Package	FI	DL	RDL		WDL		FDL LUGR		RDL LUGR		WDL LUGR		L/LENS	
	Crosswise	Endwise	Crosswise	Endwise	Crosswise	Endwise	Crosswise	Endwise	Crosswise	Endwise	Crosswise	Endwise	Crosswise	Endwise
3000LM SEF	21.8	24.5	19.7	25.3	18.6	23.4	19.2	16.5	20.2	19	20.6	20.3	24.8	25.6
4000LM SEF	22.8	25.5	20.7	26.3	19.6	24.4	20.3	17.5	21.2	20	21.6	21.4	25.8	26.6
5000LM SEF	23.6	26.3	21.4	27	20.4	25.2	21	18.2	21.9	20.7	22.3	22.1	26.6	27.3
7000LM SEF	24.8	27.6	22.7	28.3	21.6	26.5	22.3	19.6	23.3	22.1	23.7	23.4	27.8	28.6
9000LM SEF	25.6	28.4	23.5	29.1	22.5	27.3	23.2	20.4	24.1	22.9	24.5	24.3	28.6	29.4
10000LM SEF	26	28.7	23.8	29.5	22.8	27.6	23.6	20.8	24.5	23.3	24.9	24.7	29	29.8
3000LM HEF	х	Х	х	х	х	Х	х	х	х	Х	х	х	х	Х
4000LM HEF	22.8	25.6	20.7	26.3	22.8	25.6	20.3	17.5	21.3	20.1	21.7	21.4	29.5	30.3
5000LM HEF	23.6	26.3	21.4	27	23.6	26.3	21	18.2	21.9	20.7	22.3	22.1	30.2	31
7000LM HEF	24.8	27.6	22.7	28.3	24.8	27.6	22.4	19.6	23.4	22.2	23.8	23.5	27.8	28.6
9000LM HEF	25.7	28.4	23.6	29.2	25.7	28.4	23.2	20.4	24.2	23	24.6	24.3	28.7	29.5
10000LM HEF	26	28.7	23.9	29.5	26	28.7	23.6	20.9	24.6	23.4	25	24.7	29	29.8

UGR varies based on luminaire options and is affected by application dependent parameters. Numbers depicted here are considered "Luminaire-UGR and/or "Point-UGR" values. To determine a more precise maximum UGR value ("Application-UGR"), a full lighting design layout should be completed with the selected luminaire configuration for each application

# **CLX** LED Linear

		UGR Values of CLX L96 @ 80CRI and 3500K UGR (70% 50% 20% reflectance using a 4H x 8H room size)												
Lumen Package	FE	DL	RDL		W	WDL		FDL LUGR		LUGR	WDL LUGR		L/LENS	
	Crosswise	Endwise	Crosswise	Endwise	Crosswise	Endwise	Crosswise	Endwise	Crosswise	Endwise	Crosswise	Endwise	Crosswise	Endwise
6000LM SEF	21.8	24.6	19.7	25.4	17.9	22.4	19.3	16.5	20.2	19	20.6	20.4	24.8	25.6
8000LM SEF	22.8	25.5	20.7	26.4	18.8	23.4	20.3	17.6	21.2	20.1	21.6	21.4	25.8	26.6
10000LM SEF	23.6	26.3	21.4	27.2	19.6	24.2	21	18.3	21.9	20.8	22.3	22.1	26.5	27.3
14000LM SEF	24.8	27.6	22.7	28.5	20.9	25.5	22.4	19.6	23.3	22.1	23.7	23.5	27.8	28.6
18000LM SEF	25.7	28.4	23.5	29.3	21.7	26.3	23.2	20.5	24.1	23	24.5	24.3	28.6	29.4
20000LM SEF	26	28.7	23.9	29.6	22	26.6	23.6	20.9	24.5	23.4	24.9	24.7	29	29.7
6000LM HEF	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х	Х
8000LM HEF	22.8	25.6	20.7	26.5	18.9	23.5	20.4	17.6	21.3	20.1	21.7	21.5	25.8	26.6
10000LM HEF	23.6	26.3	21.4	27.2	19.6	24.2	21	18.3	21.9	20.8	22.3	22.1	27	27.8
14000LM HEF	24.9	27.6	22.7	28.5	20.9	25.5	22.4	19.7	23.4	22.2	23.8	23.5	27.8	28.6
18000LM HEF	25.7	28.4	23.6	29.3	21.7	26.3	23.2	20.5	24.2	23	24.6	24.3	28.7	29.5
20000LM HEF	26	28.8	23.9	29.6	22.1	26.6	23.7	20.9	24.6	23.4	25	24.8	29	29.8

UGR varies based on luminaire options and is affected by application dependent parameters. Numbers depicted here are considered "Luminaire-UGR and/or "Point-UGR" values. To determine a more precise maximum UGR value ("Application-UGR"), a full lighting design layout should be completed with the selected luminaire configuration for each application

# RRL - RELOC®-Ready Luminaire

- RRL connectors can be used with Quick-Flex®, System 820 and OnePass® systems.
- · Load side of connector factory installed to luminaire.
- 4-pole mating connector with push-in terminations allows for simple installation.
- Touch-safe design on both halves meets UL/CSA requirement.
- Wiping contact design allows safe disconnect under load.



**Example:** RRLA

ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Series	Wiring instructions
RRL RELOC®-ready luminaire	A Hot conductor wired to position #1 (phase A) B Hot conductor wired to position #2 (phase B) C Hot conductor wired to position #3 (phase C) 1

# Compatible RELOC® Cables for Industrial Luminaires (ordered and shipped separately)











Notes

1 C, ABE, and C12S options are not used with Quick-Flex QFC, QSFC, QPT, and QD.

# **PLUG-IN WIRING INFORMATION**

Advanced plug-in system with two-circuit capability. Available on industrial and strip products and a variety of architectural products mounted in continuous rows. PLR22 (2-circuit) and crossover harness switches hot circuit serving next fixture in row. Reduces fixture types on job for alternating circuit applications (see example below.)

Easy one-step installation, saves up to 35% on labor costs. Expanded switching flexibility helps save energy.

Rows can be 50% longer with two-circuit systems. Polarized, lock-together nylon connectors prevent miswiring in the field. #12 THHN conductor, rated 600V,  $90^{\circ}$ C. White neutral wire included. Grounding accomplished by fixture in-row connectors.

CSA certified systems available with up to 2 circuits. G ground required.

Not for use with dedicated emergency circuits.

 $Note: Specifications \, subject \, to \, change \, without \, notice.$ 



Wiring

**PLR** 

Advanced 1 or 2-Circuit Plug-In

# ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Series	Number of hot wires	Branch circuits (PLR2A / PLR2B Only)	Dimming	Ground
PLR22	(blank) Not required for PL	(blank) Not required for PLR22	(blank) No Dimming	G Ground (required)
PLR	1 Black	(blank) Not required for PLR1	(blank) No Dimming	G Ground (required)
	2 Black and red	Circuits to which driver is connected     Battery charging circuit (must be unswitched)       (blank)     Not required for PLR22     (blank)     No battery charging circuit       A     Black wire     ELA     Battery pack wired to black wire       B     Red wire     ELB     Battery pack wired to red wire	LV Low-voltage Dimming	G Ground (required)

#### **Typical Applications**

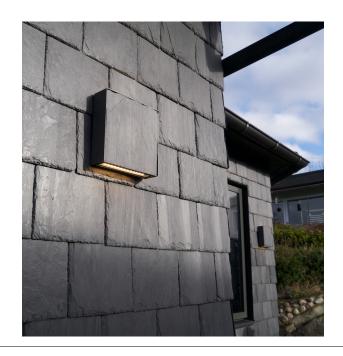
#### Notes:

When specifying PLR1, you will not specify A or B as there is only a single hot wire which would be black in color.

- Multiple-circuit and single-circuit for longer continuous rows
- Multiple-circuit with alternating fixtures on separate circuits and 2-circuit PLR22
- · Multiple circuit with night-lights located along row as desired







Ceiling-, wall- and post- mount series. Fixtures consist of:

- Multi-step powder-coat painting process, optimized against UV rays and corrosion.
- Copper-free precision die-cast aluminum housing and mounting plate.
- → Extra-clear, flat, tempered silk-screened soda-lime glass diffuser.
- Micro-prismatic patterned, flat, tempered silk-screened soda-lime glass diffuser (FLAT versions).
- Custom molded, anti-aging gasket(s).
- ¬ Stainless steel external hardware.
- Custom MCPCB utilized to maximize heat dissipation and promote a long LED life.
- ¬ High-transmittance transparent optics.
- ¬ Single (M) or dual (B) light emission.
- ¬ IESNA Type II light distribution (FLAT).
- ¬ IESNA Type II light distribution.
- ¬ IESNA Type III light distribution.
- ¬ IESNA Type IV light distribution.

- ¬ Input voltage: 120-277 V (50 / 60 Hz), integral 0-10 V dimming driver.
- Optional, integral, emergency battery-pack designed for a minimum operation of 90 minutes (EMPK versions)
- → Customizing facade faceplate available for MIMIK FLAT versions (ordered separately).
- Post accessory available for MIMIK 20 (ordered separately).
- Consult factory for dimming options, custom finishes (please specify RAL color), and non-cataloged CCT (Kelvin) options.
- Optional clear plexiglass panel can be customized with logos for signage or wayfinding (LINE BOLLARD). Consult factory for more information.
- → Product meets Buy American Act requirements within ARRA.
- ¬ 5-year warranty.
- ¬ Marine Grade finish.
- ¬ Suitable for Natatorium applications.









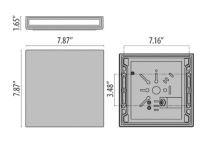




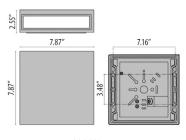




- AN-96 / Iron gray / Textured
- GR-94 / Aluminum metallic / Textured
- **WH-87** / White / Textured
- **BK-81** / Black / Textured
- RB-10 / Iron rust / Textured



MIMIK **20 FLAT** 



MIMIK **20** Standard

LUMEN OUTPUT		2700K	3000K	3500K	4000K	5000K
MIMIK 20 M T2	15W	1373	1385	1396	1408	1420
MIMIK 20 M T2	26W	2238	2256	2274	2292	2310
MIMIK 20 M T2 EMPK	15W	1373	1385	1396	1408	1420
MIMIK 20 M T3	15W	1385	1396	1407	1418	1429
MIMIK 20 M T3	26W	2255	2273	2291	2309	2327
MIMIK 20 M T3 EMPK	15W	1385	1396	1407	1418	1429
MIMIK 20 M T4	15W	1308	1319	1329	1340	1351
MIMIK 20 M T4	26W	2132	2149	2166	2183	2200
MIMIK 20 M T4 EMPK	15W	1308	1319	1329	1340	1351
MIMIK 20 FLAT M	14W	919	960	1001	1042	1083
MIMIK 20 FLAT B	25W	1847	1930	2012	2095	2178



Scan here for installation instructions

15W
26W
15W
26W
15W
26W
14W
25W







40" Bollard option

40" Line Bollard option

# Order Guide - Mimik 20

Order code example

M20-M-15W-T4-AM-27K-120V-NA-FC

M20
-----

Housing Style	Light Emission	Wattage	Optics	Finish	CRI	Kelvin/ Static Colors	Voltage	Controls	Accessories
M20 Standard M20F Flat	(One-Way)  B (Two-Way) (Flat only)	15 15 watt (with em max) 26 26 watt max 14 14 watt (Flat only) 25 25 watt (Flat only) max XX Specify Wattage Must be below max	(standard only) (leave blank for flat) T2 Type II T3 Type III T4 Type IV	AM Aluminum Metallic IG Iron Gray IR Iron Rust BK Textured Black WH Textured White CC Custom Color	70 70 CRI (Standard) 80 80 CRI (Flat Standard) 90* 90 CRI  *Contact Factory For Availability	27K 2700k  3K 3000k  35K 3500k  4K 4000k  5K* 5000K Consult factory for MOQ  RED Satic Red (Flat Only)  GRN Static Green (Flat Only)  BLU (Flat Only)  AMB Static Amber (Flat Only)	UNV 120-277V	NA Non Dimming 0-10V 0-10V Dimming ELV ELV Dimming	EMPK Integral 15W Emergency Battery Back up (not available with flat housing)  CWEMPK Remote Cold Weather Emergency Battery Back up -20°C through 55°C  FC Facade cover  FRST Frosted glass  EGR Egress Double Housing  PHC-B Photocell Button  OCC Occupancy Sensor  REM Remote battery back up  BOL 40" Bollard LBOL 40" Line Bollard  XXBOL Specify Bollard Height 40" Max 12" Min  XXLBOL Specify Line Bollard Height 40" Max 12" Min  XXLBOL Specify Line Bollard Height 40" Max 12" Min

Performance in Lighting - 2621 Keys Pointe - Conyers, Georgia 30013 - USA - voice 770.822.2115 - info.usa@pil.lighting www.performanceinlighting.com

Project	Catalog #	Тур	ре
Prepared by	Notes	Dat	te



# **HALO**

# **SMD6 Series**

6" Round and Square Surface Mount Downlight SMD6R & SMD6S

**Typical Applications** Residential



# Interactive Menu

- Order Information page 2
- Product Specifications page 4
- Photometric Data page 5
- Product Warranty

# **Product Certification**











Refer to ENERGY STAR® Certified Products List.
Can be used to comply with California Title 24 High Efficacy requirements
Certified to California Appliance Efficiency Database under JAB.

# **Top Product Features**

- Ultra-low profile surface luminaire with wide distribution
- · Ceiling or wall mounting in compatible junction boxes
- 600 & 1200 lumen; 2700K, 3000K, 3500K, 4000K or 5000K field selectable CCT; 90 CRI
- 120V only and Universal Voltage 120V 277V options
- · Dimmable with 120V dimmers

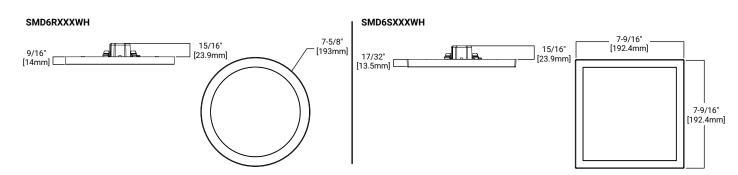
# **Product Features**







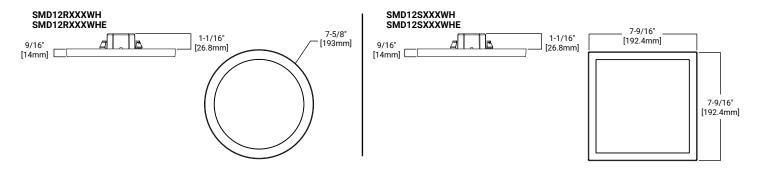
# **Dimensional and Mounting Details**







# **Dimensional and Mounting Details Continued**



# **Ordering Information**

SAMPLE NUMBER: **SMD6R69SWH** = 6" Round Surface Mount Downlight, 600 lumen, 90CRI, Selectable CCT, White, 120V Junction Box Installation: Order junction box separately, as supplied by others, to complete installation. Recessed Installation: Order HALO recessed housing and SMD6ACCKIT separately to complete installation.

Models	Lumens	CRI/CCT	Finish	Voltage
Models	Lumens	CRI/CCT	Finish	Voltage
SMD6R = 6" Round Surface Mount Downlight SMD6S = 6" Square Surface Mount Downlight	6 = 600 lumen series (120V only) 12 = 1200 lumen series	9S = 90CRI, 2700K - 5000K Field Selectable CCT	WH = Matte White	Blank = 120V standard E = UNV Universal 120-277V <sup>(1)</sup>
Notes	Notes	Notes	Notes	Notes (1) UNV voltage configuration is offered only in the 1200 lumen series

#### Accessories

Accessories
Designer Trims SMDGRTRMSN = 6" Round SMD Satin Nickel SMDGRTRMSD = 6" Round SMD Tuscan Bronze SMDGRTRMWH = 6" Round SMD White (paintable) SMDGSTRMSN = 6" Square SMD Satin Nickel SMDGSTRMSD = 6" Square SMD Tuscan Bronze SMDGSTRMSD = 6" Square SMD White (paintable)
T24HWKIT = Title 24 Cable harness kit used to convert incandescent and low voltage housings to LED
SMD6ACCKIT = SMD6 accessory kit includes friction clips, torsion sprigs and a Edison screwbase adapter for recessed housing installation.
Notes

# **Accessories**

#### **Designer Trims**









#### JUNCTION BOX COMPATIBILITY

\*Note: SMD 120-277V UNV configuration is only compatible with junction boxes that provide a minimum depth of 2-1/8". Junction boxes meeting these requirements listed below.



TP316\* for non-metallic cable 4" x 4" x 2-1/8" (102mm x 102mm x 54mm)



**TP317\*** for metal clad cable 4" x 4" x 2-1/8" (102mm x 102mm x 54mm)



4" octagon light fixture/fan steel box\* 4" x 4" x 2-1/8" (102mm x 102mm x 54mm)



4" octagon steel box 4" x 4" x 1-1/2" (102mm x 102mm x 38mm)



4" square deep steel box\* 4" x 4" x 2-1/8" (102mm x 102mm x 54mm)



4" square standard steel box 4" x 4" x 1-1/2" (102mm x 102mm x 38mm)



4" round new work non-metallic light fixture/fan box\* 4" diameter x 2-3/16" (102mm x 56mm)



3-1/2" round new work non-metallic ceiling box\* 3-1/2" diameter x 2-3/4" (89mm x 70mm)



3-1/2" round old work\* non-metallic box 4-1/4" O.D. flange, 3-1/2" I.D. x 2-5/8" (108mm O.D., 89mm I.D. x 67mm)



4" round surface mount box 4" diameter x 1-1/2' (102mm x 38mm) Requires SLD6RAD adapter



\*This is a representative list of compatible junction boxes only. Information contained in this literature about other manufacturers' products is from published information made available by the manufacturer and is deemed to be reliable, but has not been verified. Cooper Lighting Solutions makes no specific recommendation on product selection and there are no warranties of performance or compatibility implied. Installer must determine that site conditions are suitable to allow proper installation of the mounting bracket in the box.

# **Product Specifications**

#### Housing

- · Non-electrically conductive polycarbonate frame.
- · High impact diffuse polystyrene lens provides shielding to the light guide with no pixilation
- · Stamped aluminum housing provides thermal cooling achieving L70 at 50,000 hours in IC and non-IC applications

#### Gaskets

· Closed cell gasket achieves restrictive airflow and wet location requirements without additional

#### **Optics**

· Precision acrylic light guide organizes source flux into wide distribution with 1.2 - 1.4 spacing criteria useful for general area illumination

#### LED

- · Mid power LED array provide a uniform source with high efficiency and long life
- · Available in 90 CRI minimum, R9 greater than 50 and color accuracy within 3 SDCM provide color accuracy and uniformity

#### **Driver**

#### **SMD 120V**

- · Integral 120V 50/60Hz constant current driver provides noise free operation
- Continuous, flicker-free dimming from 100% to 5% with select leading or trailing edge 120V phase cut dimmers
- · Dimming to 5% is best assured using dimmers with low end trim adjustment. Consult dimmer manufacturer for compatibility and conditions of use. (Note some dimmers require a neutral in the wallbox.)
- · Inline electrical quick connect and E26 adapter (provided) provides mains connections

#### SMD 120-277V

- · Integrated 120-277V 60Hz constant current driver provides noise free operation
- · SMD Universal Voltage (120-277V) configurations are recommended for use with compatible 0-10V DC
- low voltage dimmers only

#### Mounting/Retention

- · Adjustable spider plate allows for quick installation into both junction boxes and recessed housings
- · Torsion springs and friction blades included

#### **Electrical Junction Box Mounting**

- · The SMD may be used in compatible electrical junction boxes in direct contact with insulation including spray foam insulation
- Suitable for installation in many 3-1/2" and 4" square, octagon, and round electrical junction boxes Note: SMD120-277V UNV is only compatible with junction boxes that provide minimum depth of 2-1/8"
- Installer must ensure compatibility of fit, wiring and proper mounting in the electrical junction box. This includes all applicable national and local electrical and building coded

## **Recessed Housing Mounting**

Note: Use the SMDACCKIT which includes torsion springs and Edison base adapter. (SOLD SEPERATELY)

· May be installed in IC recessed housings in direct contact with insulation

Note: Not for use in recessed housing in direct contact with spray foam insulation. Refer to NEMA LSD 57-2013

#### **Designer Skins** (Sold Separately)

- · SMD skins are accessory rings in both round and square. These skins attach to the SMD for a permanent finish. Refer to the SMD accessories specification sheet for details
  - Matte White (Paintable)
  - Satin Nickel
  - Tuscan Bronze

#### Compliance

- · cULus Certified for use with Halo housings and for use with other's housings, , when used with SMDACCKIT (Sold Seperately) see instruction sheet for conditions of acceptability
- · Wet and Damp Location listed, airtight per ASTM-E283
- · Suitable for use in closets, compliant with NFPA® 70, NEC® Section 410.16 (A)(3) and 410.16 (C)(5)
- EMI/RFI emissions per FCC 47CFR Part 15B
- · Contains no mercury or lead and RoHS compliant.
- · Photometric testing in accordance with IES LM-79-08
- · Lumen maintenance projections in accordance with IES LM-80-08 and TM-21-11
- · Can be used for State of California Title 24 high efficacy luminaire compliance, reference the California Energy Commission Title 20 Appliance Efficiency Database for current listings
- Can be used for International Energy Conservation Code (IECC) and high efficiency luminaire compliance
- ENERGY STAR® listed, reference database for current listings

#### Warrantv

· Five year limited warranty, consult website for details, www.cooperlighting.com/legal

# **Energy Data**

#### SMD6R6 / SMD6S6

	Round	Square	
Lumens (5000K models)	777	800	
Input Power	9 W	9 W	
Input Current	0.08 A	0.08 A	
Efficiency	86 lm/W	85 lm/W	
Input Voltage	oltage 120V		
Frequency	60 Hz		
CRI	90 CRI		
Power Factor	0.98		
T Ambient	-30 - +40°C		
Sound Rating	Class A		

#### SMD6R12 / SMD6S12

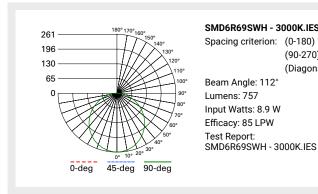
	Round	Square	
Lumens (5000K models)	1271	1345	
Input Power	15	15	
Input Current	0.13 A	0.13 A	
Efficiency	85 lm/W	88 lm/W	
Input Voltage 120V		0V	
Frequency	60 Hz		
CRI	90 CRI		
Power Factor	0.99		
T Ambient	-30 - +40°C		
Sound Rating	Clas	ss A	

#### SMD6R12-E / SMD6S12-E

OMPORTE E, OMPOOTE E					
	Round	Square			
Lumens (5000K models)	1357	1364			
Input Power	14.5	14.5			
Input Current	0.12 A - (120V)	0.12 A - (120V)			
Efficiency	94 lm/W	94 lm/W			
Input Voltage	120 - 277V				
Frequency	60 Hz				
CRI	90 CRI				
Power Factor	0.99				
T Ambient	-30 - +40°C				
Sound Rating	Class A				



# **Photometric Data**



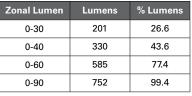
#### SMD6R69SWH - 3000K.IES

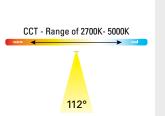
Spacing criterion: (0-180) 1.26 (90-270) 1.26

(Diagonal) 1.38

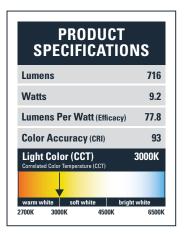
Beam Angle: 112° Lumens: 757 Input Watts: 8.9 W Efficacy: 85 LPW Test Report:

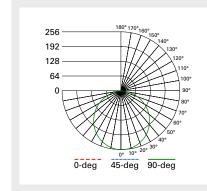
0-40	330	43.6
0-60	585	77.4
0-90	752	99.4





SMD6R69SWH	CCT	Watts	Lumens	LPW	CRI
	2700K	9.2	704	76.6	93
600 Lumen	3000K	9.2	716	77.8	93
6" Round Selectable CCT	3500K	9.2	729	79.2	94
	4000K	9.2	742	80.5	94
	5000K	9.2	756	82.0	93





## SMD6S69SWH - 3000K.IES

Spacing criterion: (0-180) 1.28

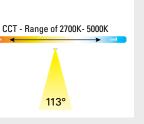
(90-270) 1.28

(Diagonal) 1.40

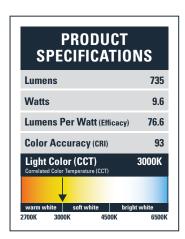
Beam Angle: 113° Lumens: 752 Input Watts: 9.2 W Efficacy: 82 LPW

Test Report: SMD6S69SWH - 3000K.IES

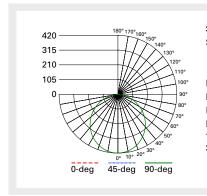
Zonal Lumen	Lumens	% Lumens
0-30	199	26.4
0-40	326	43.4
0-60	580	77.2
0-90	748	99.5



SMD6S69SWH	CCT	Watts	Lumens	LPW	CRI
	2700K	9.6	720	75.3	93
600 Lumen	3000K	9.6	735	76.7	93
6" Square Selectable CCT	3500K	9.6	750	78.2	94
	4000K	9.6	764	79.5	94
	5000K	9.6	774	80.7	92



# **Photometric Data**



## SMD6R129SWH - 3000K.IES

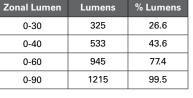
Spacing criterion: (0-180) 1.26 (90-270) 1.26

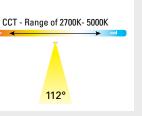
(Diagonal) 1.38

Beam Angle: 112° Lumens: 1221 Input Watts: 14.9 W Efficacy: 82 LPW Test Report:

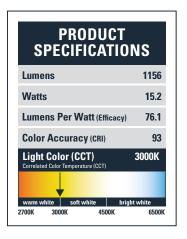
SMD6R129SWH - 3000K.IES

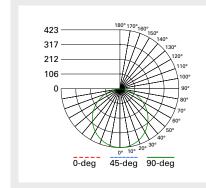
Zonal Lumen	Lumens	% Lumens
0-30	325	26.6
0-40	533	43.6
0-60	945	77.4
0-90	1215	99.5





SMD6R129SWH	CCT	Watts	Lumens	LPW	CRI
	2700K	15.2	1135	74.7	92
1200 Lumen	3000K	15.2	1156	76.1	93
6" Round	3500K	15.2	1178	77.5	94
Selectable CCT	4000K	15.2	1198	78.8	95
	5000K	15.2	1226	80.7	93





## SMD6S129SWH - 3000K.IES

Spacing criterion: (0-180) 1.26

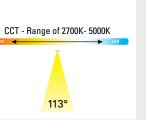
(90-270) 1.26

(Diagonal) 1.40

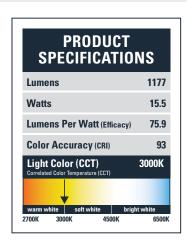
Beam Angle: 113° Lumens: 1241 Input Watts: 14.9 W Efficacy: 83 LPW

Test Report: SMD6S129SWH - 3000K.IES

Zonal Lumen	Lumens	% Lumens
0-30	329	26.5
0-40	539	43.5
0-60	960	77.3
0-90	1237	99.6

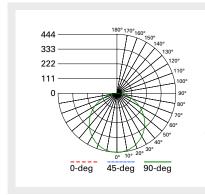


SMD6S129SWH	CCT	Watts	Lumens	LPW	CRI
	2700K	15.5	1153	74.4	92
1200 Lumen	3000K	15.5	1177	75.9	93
6" Square	3500K	15.5	1206	77.8	95
Selectable CCT	4000K	15.5	1224	79.0	95
	5000K	15.4	1256	81.6	93





# **Photometric Data**



# SMD6R129SWHE - 3000K.IES

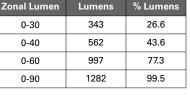
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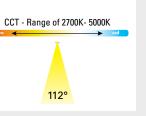
(Diagonal) 1.38

Beam Angle: 112° Lumens: 1289 Input Watts: 14.5 W Efficacy: 89 LPW Test Report:

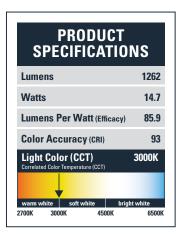
SMD6R129SWHE - 3000K.IES

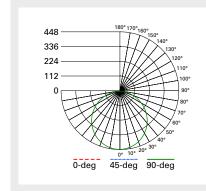
Zonal Lumen	Lumens	% Lumens
0-30	343	26.6
0-40	562	43.6
0-60	997	77.3
0-90	1282	99.5





SMD6R129SWHE	CCT	Watts	Lumens	LPW	CRI
	2700K	14.7	1237	84.1	92
1200 Lumen	3000K	14.7	1262	85.9	93
6" Round Selectable CCT	3500K	14.7	1289	87.7	95
120-277V	4000K	14.7	1311	89.2	95
	5000K	14.7	1306	88.8	93





## SMD6S129SWHE - 3000K.IES

Spacing criterion: (0-180) 1.26

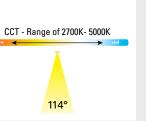
(90-270) 1.26

(Diagonal) 1.40

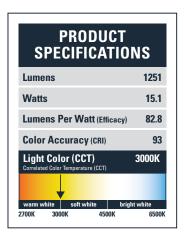
Beam Angle: 114° Lumens: 1312 Input Watts: 14.7 W Efficacy: 89 LPW

Test Report: SMD6S129SWHE - 3000K.IES

Zonal Lumen	Lumens	% Lumens
0-30	348	26.5
0-40	570	43.5
0-60	1014	77.3
0-90	1307	99.6



SMD6S129SWHE	CCT	Watts	Lumens	LPW	CRI
	2700K	15.1	1225	81.1	92
1200 Lumen	3000K	15.1	1251	82.8	93
6" Square Selectable CCT	3500K	15.1	1277	84.6	95
120-277V	4000K	15.1	1299	86.0	95
	5000K	15.1	1327	87.9	93





Specifications and dimensions subject to change without notice.

REVIEWED

# FIRST AMENDMENT TO PURCHASE AND SALE AGREEMENT

THIS FIRST AMENDMENT TO PURCHASE AND SALE AGREEMENT (the "First Amendment") is made and entered effective Novembe<u>r</u> 8th, 2023 (the "Effective Date"), by and between DESCHUTES COUNTY, a political subdivision of the State of Oregon ("Seller") and FOUNDATION FOR AFFORDABLE HOUSING, INC. a Delaware nonprofit corporation ("Buyer"), collectively referred to hereinafter as "Party" or "Parties."

## WITNESSETH:

WHEREAS, Seller and Buyer entered into that certain Purchase and Sale Agreement effective August 23, 2023 (the "Agreement") concerning certain unimproved real property located in La Pine, Deschutes County, OR; and

**WHEREAS**, Seller and Buyer desire to amend certain terms, conditions, and provisions of the Agreement as more fully set forth below.

**NOW, THEREFORE**, for the sum of Ten and 00/100 Dollars (\$10.00), the mutual promises and covenants contained in this First Amendment, and other good and valuable consideration, as to all of which the receipt and sufficiency of which is hereby acknowledged by Seller and Buyer, the Seller and Buyer agree as follows:

- 1. <u>Incorporation of Recitals</u>. The recitals set forth above are hereby incorporated into this First Amendment as if more specifically set forth below.
- 2. <u>Definitions.</u> All capitalized terms used in this First Amendment shall have the same meaning given to them in the Agreement unless a contrary definition is specifically set forth in this First Amendment.
  - 3. Amendments to the Agreement:

Notwithstanding anything to the contrary set forth in the Agreement:

a. <u>Examination Period</u>. The first sentence of Section 4(f) of the Agreement is amended and restated in its entirety as follows:

"On or before **June 30, 2024** (the period from the Effective Date through June 30, 2024, hereinafter referred to herein as the "**Examination Period**"), Buyer may terminate this Agreement for any reason or no reason by giving written notice of such termination to Seller and Escrow Agent."

- b. <u>Closing Date</u>. Section 7(a) of the Agreement is amended and restated in its entirety as follows:
  - "The purchase and sale contemplated herein shall close (the "Closing") by mutual exchange of documents through Escrow Agent (at the address shown in Section 11(a)) on July 14, 2024 (the "Anticipated Closing Date"). Buyer shall have the right, in its sole discretion, to extend closing by 90-days to October 14, 2024 (the "Extended Closing Date") by giving Seller a minimum of thirty (30) days advanced written notice of such election prior to the end of the Examination Period and by increasing the Escrow Deposit by \$40,000 (to a total of \$50,000), all of which shall be deemed non-refundable, following the expiration of the Examination Period. The Anticipated Closing Date, Extended Closing Date, or Final Closing Date or such other date on which Buyer and Seller mutually agree to Close the transaction contemplated herein, as applicable, may each be referred to herein as the "Closing Date".
    - i. Buyer intends to leverage subsidized funding to complete the development of an affordable housing project (the "Buyer's Project") on the Land described in Section 1(a) of the Agreement.
    - ii. An anticipated resource for Buyer's Project includes funding from the State of Oregon's Low Income Housing Tax Credit (LIHTC) program.
    - iii. The Parties intend to close the transaction as defined in this Section 3.b, but agree to a final closing date (the "Final Closing Date") of January 14, 2025 to satisfy the LIHTC requirement.
- 4. <u>Headings</u>. Descriptive headings are for convenience only and shall not control or affect the meaning or construction of any provision of this First Amendment.
- 5. <u>Binding Effect</u>. This First Amendment shall be binding upon and shall inure to the benefit of the Seller and the Buyer hereto and their respective successors and assigns.
- 6. <u>Counterparts</u>. To facilitate execution, this First Amendment may be executed in any number of counterparts as may be convenient or necessary, and it shall not be necessary that the signatures of all parties hereto be contained on any one counterpart hereof. Additionally, the parties hereto hereby covenant and agree that, for purposes of facilitating the execution of this First Amendment, (a) the signature pages taken from separate individually executed counterparts of this First Amendment may be combined to form multiple fully executed counterparts and (b) a facsimile or PDF signature shall be deemed to be an original signature. All executed counterparts of this First Amendment shall be deemed to be originals, but all such counterparts taken together shall constitute one and the same First Amendment.
- 7. <u>Interpretation</u>. Whenever the context hereof shall so require, the singular shall include the plural, the male gender shall include the female gender and the neuter, and vice versa.
- 8. <u>Severability</u>. In case of any one or more of the provisions contained in this First Amendment shall for any reason be held to be invalid, illegal or unenforceable in any respect, such invalidity, illegality, or unenforceability shall not affect any other provision hereof, and this First Amendment shall be construed as if such invalid, illegal, or unenforceable provision had never been contained herein.

- 9. <u>Full Force and Effect</u>. Except as set forth hereinabove, all other provisions of the Agreement shall remain in full force and effect.
- 10. <u>Authority</u>. Each person signing this First Amendment on behalf of a party warrants that he or she is duly authorized by all necessary and appropriate action to execute this First Amendment.

\*\*BALANCE OF PAGE INTENTIONALLY LEFT BLANK\*\*

\*\*SIGNATURE PAGES TO FOLLOW\*\*

IN WITNESS WHEREOF, the undersigned have executed multiple counterparts of this First Amendment as of the Effective Date.

# SELLER:

# **DESCHUTES COUNTY,**

a political subdivision of the State of Oregon

Name: Kristie Bollinge

Its: Property Manager and Authorized Signator pursuant to

**Deschutes County Order 2023-034** 

# **BUYER**:

FOUNDATION FOR AFFORDABLE HOUSING, INC.,

a Delaware nonprofit corporation

Ву:

Name: Tarun Chandran Its: Vice President



# Transaction Identification Data, for which the Company assumes no liability as set forth in Commitment Condition 5.e.:

Escrow Officer Name: Escrow Officer Number:

Issuing Agent: First American Title Insurance Company

National Commercial Services

10017

Issuing Office's ALTA® Registry ID: 0002090 Commitment Number: 3020-1188638 Issuing Office File Number: 3020-1188638

Escrow Assistant Email:

**Escrow Assistant Name:** 

**Escrow Assistant Number:** 

Property Address: 52711, 52721, and 52695 Drafter,

Title Officer Name:

Road, La Pine, OR 97739

Revision Number: 1

Title Officer Number: Title Officer Email:

## **SCHEDULE A**

1. Commitment Date: November 02, 2023 at 8:00 a.m.

2. Policy to be issued:

a. ALTA® Standard Owner's Policy

Proposed Insured: FOUNDATION FOR AFFORDABLE HOUSING, INC., a Delaware nonprofit

corporation

Proposed Amount of Insurance: \$500,000.00 Premium: \$1,350.00

The estate or interest to be insured: See Item 3 below

Issuing Office: 666 Third Avenue, 5th Floor, New York, NY Escrow Officer Email:

3. The estate or interest in the Land at the Commitment Date is:

Fee Simple

4. The Title is, at the Commitment Date, vested in:

Deschutes County, a political subdivision of the State of Oregon

5. The Land is described as follows:

See Exhibit A attached hereto and made a part hereof

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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**First American Title Insurance Company** 

By:

**Authorized Signatory** 

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Page 3 of 12



Commitment No. 3020-1188638

## **SCHEDULE B, PART I—Requirements**

All of the following Requirements must be met:

- 1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
- 2. Pay the agreed amount for the estate or interest to be insured.
- 3. Pay the premiums, fees, and charges for the Policy to the Company.
- 4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
- 5. If a proposed mortgage or deed of trust will secure, in whole or in part, construction advances, in order to consider providing coverage against statutory liens for services, labor, or materials arising from construction of improvements or work related to the Land, the Company will require:
  - 1. Project budget, including hard costs, soft costs, equity contributions, and sources and uses.
  - 2. An indemnity agreement on a form to be provided, and executed by indemnitor(s) approved, by the Company.
  - 3. Direct contract(s) with any general contractor(s), including projected schedule for completion of construction.
  - 4. Draft loan agreement detailing construction advance disbursement controls (or separate disbursement agreement, if applicable) and guaranty/ees.
  - 5. An appraisal, if lender has required one.

Upon receipt and review of the foregoing, the Company reserves the right to require additional documentation. The cost for construction lien coverage will vary depending on if we issue up front coverage or incremental coverage:

- 1. Full upfront coverage the cost is \$2.50 per thousand of the loan amount in addition to the title insurance policy fee.
- 2. Incremental coverage the cost is \$1 per thousand of the loan amount in addition to the title insurance policy fee.

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Form 50122341 (5-17-22)



Commitment No. 3020-1188638

#### **SCHEDULE B, PART II—Exceptions**

Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This Commitment and the Policy treat any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document will be excepted from coverage.

The Policy will not insure against loss or damage resulting from the terms and conditions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

- 1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I—Requirements are met.
- 2. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- 3. Facts, rights, interests or claims which are not shown by the Public Records but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
- 4. Easements, or claims of easement, not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof; water rights, claims or title to water.
- 5. Any encroachment (of existing improvements located on the Land onto adjoining land or of existing improvements located on adjoining land onto the Land), encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land.
- 6. Any lien or right to a lien for services, labor, material or equipment, unless such lien is shown by the Public Records at Date of Policy and not otherwise excepted from coverage herein.

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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Form 50122341 (5-17-22)



The exceptions to coverage 2-6 inclusive as set forth above will remain on any subsequently issued Standard Coverage Title Insurance Policy.

In order to remove these exceptions to coverage in the issuance of an Extended Coverage Policy the following items are required to be furnished to the Company; additional exceptions to coverage may be added upon review of such information:

- A. Survey or alternative acceptable to the Company
- B. Affidavit regarding possession
- C. Proof that there is no new construction or remodeling of any improvement located on the Land. In the event of new construction or remodeling the following is required:
  - i. Satisfactory evidence that no construction liens will be filed; or
  - ii. Adequate security to protect against actual or potential construction liens;
  - iii. Payment of additional premiums as required by the Industry Rate Filing approved by the Insurance Division of the State of Oregon
- 7. Water rights, claims to water or title to water, whether or not such rights are a matter of public record.
- 8. This item has been intentionally deleted.
- 9. Subject property is under public ownership and is tax exempt. Any change in ownership before delivery of assessment roll may result in tax liability. Account No. 161052, 161053 and 161036.
- 10. City liens, if any, of the City of La Pine.

Note: All outstanding utility and user fees are not liens and therefore are excluded from coverage. Prior to close, please contact this office for current lien searches.

- 11. Easements for utilities and building setback line as shown on the official plat.
- 12. Covenants, conditions and restrictions as shown on the recorded Plat, as follows: "All utility easements shown or provided for hereon are granted to those utilities licensed to serve said land, together with a permanent right to enter thereon for purposes of installation, maintenance or repair of their respective facilities."
- 13. This item has been intentionally deleted.
- 14. Easement, including terms and provisions contained therein:

Recording Information: July 12, 1982 in Book 359, Page 231
In Favor of: Sun Country Land & Cattle Corporation

For: All utilities

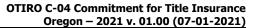
(Affects Lots 8 and 9)

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15. Deschutes County Easement to LaPine Special Sewer District, including terms and provisions thereof. Recorded: May 28, 1998 in Book 495, Page 1384

(Affects Lot 9)

16. Deschutes County Easement to LaPine Special Sewer District, including terms and provisions thereof. Recorded: May 28, 1998 in Book 495, Page 1396 (Affects Lot 8)

-END OF EXCEPTIONS-

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## **INFORMATIONAL NOTES**

NOTE: We find no matters of public record against Foundation For Affordable Housing, Inc that will take priority over any trust deed, mortgage or other security instrument given to purchase the subject real property as established by ORS 18.165.

NOTE: According to the public record, the following deed(s) affecting the property herein described have been recorded within 24 months of the effective date of this report: NONE

NOTE: Notice of Written Order, Deschutes County Forestland Classification Committee, recorded January 17, 2019 as Instrument No. 2019-01721, Deschutes County, Oregon.

NOTE: We find no outstanding voluntary liens of record affecting subject property. An inquiry should be made concerning the existence of any unrecorded lien or other indebtedness which could give rise to any security interest in the subject property.

NOTE: This Supplemental #1 Preliminary Title Report is being issued to: Update the plant date and to remove exception no. 7 and 12.

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Commitment No. 3020-1188638

## **EXHIBIT A**

The Land referred to herein below in situated in the County of Deschutes, State of Oregon, and is described as follows:

LOTS 7, 8 AND 9 IN BLOCK 1 OF LAPINE MEADOWS NO., CITY OF LA PINE, DESCHUTES COUNTY, OREGON.

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# ALTA COMMITMENT FOR TITLE INSURANCE issued by FIRST AMERICAN TITLE INSURANCE COMPANY

#### **NOTICE**

**IMPORTANT—READ CAREFULLY:** THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

#### **COMMITMENT TO ISSUE POLICY**

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, First American Title Insurance Company, a Nebraska Corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Amount of Insurance and the name of the Proposed Insured.

If all of the Schedule B, Part I—Requirements have not been met within after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

FIRST AMERICAN TITLE INSURANCE COMPANY

Kenneth D. DeGiorgio, President

Lisa W. Cornehl, Secretary

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.



#### **COMMITMENT CONDITIONS**

## 1. DEFINITIONS

- a. "Discriminatory Covenant": Any covenant, condition, restriction, or limitation that is unenforceable under applicable law because it illegally discriminates against a class of individuals based on personal characteristics such as race, color, religion, sex, sexual orientation, gender identity, familial status, disability, national origin, or other legally protected class.
- b. "Knowledge" or "Known": Actual knowledge or actual notice, but not constructive notice imparted by the Public Records.
- c. "Land": The land described in Item 5 of Schedule A and improvements located on that land that by State law constitute real property. The term "Land" does not include any property beyond that described in Schedule A, nor any right, title, interest, estate, or easement in any abutting street, road, avenue, alley, lane, right-of-way, body of water, or waterway, but does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- d. "Mortgage": A mortgage, deed of trust, trust deed, security deed, or other real property security instrument, including one evidenced by electronic means authorized by law.
- e. "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- f. "Proposed Amount of Insurance": Each dollar amount specified in Schedule A as the Proposed Amount of Insurance of each Policy to be issued pursuant to this Commitment.
- g. "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- h. "Public Records": The recording or filing system established under State statutes in effect at the Commitment Date under which a document must be recorded or filed to impart constructive notice of matters relating to the Title to a purchaser for value without Knowledge. The term "Public Records" does not include any other recording or filing system, including any pertaining to environmental remediation or protection, planning, permitting, zoning, licensing, building, health, public safety, or national security matters.
- i. "State": The state or commonwealth of the United States within whose exterior boundaries the Land is located. The term "State" also includes the District of Columbia, the Commonwealth of Puerto Rico, the U.S. Virgin Islands, and Guam.
- j. "Title": The estate or interest in the Land identified in Item 3 of Schedule A.
- **2.** If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

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- **3.** The Company's liability and obligation is limited by and this Commitment is not valid without:
  - a. the Notice;
  - b. the Commitment to Issue Policy;
  - c. the Commitment Conditions;
  - d. Schedule A;
  - e. Schedule B, Part I—Requirements; and
  - f. Schedule B, Part II—Exceptions; and
  - g. a counter-signature by the Company or its issuing agent that may be in electronic form.

#### 4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company is not liable for any other amendment to this Commitment.

#### 5. LIMITATIONS OF LIABILITY

- a. The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
  - comply with the Schedule B, Part I—Requirements;
  - ii. eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
  - iii. acquire the Title or create the Mortgage covered by this Commitment.
- b. The Company is not liable under Commitment Condition 5.a. if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- c. The Company is only liable under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- d. The Company's liability does not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Condition 5.a. or the Proposed Amount of Insurance.
- e. The Company is not liable for the content of the Transaction Identification Data, if any.
- f. The Company is not obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- g. The Company's liability is further limited by the terms and provisions of the Policy to be issued to the Proposed Insured.

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# **6.** LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT; CHOICE OF LAW AND CHOICE OF FORUM

- a. Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- b. Any claim must be based in contract under the State law of the State where the Land is located and is restricted to the terms and provisions of this Commitment. Any litigation or other proceeding brought by the Proposed Insured against the Company must be filed only in a State or federal court having jurisdiction.
- c. This Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- d. The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- e. Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- f. When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

## 7. IF THIS COMMITMENT IS ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for closing, settlement, escrow, or any other purpose.

### **8.** PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

#### 9. CLAIMS PROCEDURES

This Commitment incorporates by reference all Conditions for making a claim in the Policy to be issued to the Proposed Insured. Commitment Condition 9 does not modify the limitations of liability in Commitment Conditions 5 and 6.

# 10. CLASS ACTION

ALL CLAIMS AND DISPUTES ARISING OUT OF OR RELATING TO THIS COMMITMENT, INCLUDING ANY SERVICE OR OTHER MATTER IN CONNECTION WITH ISSUING THIS COMMITMENT, ANY BREACH OF A COMMITMENT PROVISION, OR ANY OTHER CLAIM OR DISPUTE ARISING OUT OF OR RELATING TO THE TRANSACTION GIVING RISE TO THIS COMMITMENT, MUST BE BROUGHT IN AN INDIVIDUAL CAPACITY. NO PARTY MAY SERVE AS PLAINTIFF, CLASS MEMBER, OR PARTICIPANT IN ANY CLASS OR REPRESENTATIVE PROCEEDING. ANY POLICY ISSUED PURSUANT TO THIS COMMITMENT WILL CONTAIN A CLASS ACTION CONDITION.

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